# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com



# 340 MILL ROAD

Etobicoke, ON M9C 4Y9

for BMR Title Corp.

Project No. 16019

Date 2021-12-14

Issued for Site Plan Control Application Resubmission

## ARCHITECTURAL DRAWINGS

```
A000.S COVER PAGE
A100.S SITE STATISTICS
A100A.S SITE STATISTICS AND TYPICAL DETAILS
A101.S SITE PLAN
A101A.S CONTEXT PLAN
A151.S UNDERGROUND PARKING LEVEL P4
A152.S UNDERGROUND PARKING LEVEL P3
A153.S UNDERGROUND PARKING LEVEL P2
A154.S UNDERGROUND PARKING LEVEL P1
A155.S EXISTING UNDERGROUND PARKING LEVEL P1
A201.S GROUND FLOOR PLAN
A202.S PLAN OF FLOOR 2
A203.S PLAN OF FLOOR 3
A204.S PLAN OF FLOOR 4
A205.S PLAN OF FLOOR 5
A206.S PLAN OF FLOOR 6
A207.S PLAN OF TYPICAL FLOORS 7 TO 19
A208.S PLAN OF MECHANICAL PENTHOUSE FLOOR
A209.S ROOF PLAN
A401.S BUILDING NORTH AND SOUTH ELEVATIONS
A402.S BUILDING EAST AND WEST ELEVATIONS
A403.S 1-50 COLOURED ELEVATION
```



Jablonsky, Ast & Partners

A451.S BUILDING SECTIONS

### The STATS below are based on requirements as per the Toronto City-Wide Zoning bylaw 569-2013 and the Toronto Green Standard v3

Existing Parking							Amenity Area Exist.	Required	Provided		Bicycle Zone 2					Required I	Provided	
Level			EXISTIN	NG	TOTAL	1 1	Existing Interior Amenity	0.00 sm	97.10 sm	9NG	Existing Bike Spaces					0	0	
			Resident	Visitor			Existing Exterior Amenity	0.00 sm	580.5 sm	RK	Proposed Bike Spaces							
Surface			98	32	130					PA	Long Term	(0.68/unit)	0.68	Х	191	130	136	
P1			166	0	166		Amenity Area Proposed			CLE	Short Term	(0.07/unit)	0.07	Х	191	14	14	
TOTAL EXISTING					296		TOTAL Proposed Indoor + Outdoor Amenity	764.00 sm	830.00 sm	ВІСҮ	TOTAL	(for proposed	Residential	Units)		144	150	
Parking Proposed						ACE	Interior Amenity	382.00 sm	392.00 sm									
Level	PROPOSE	ĒD	EXISTING TO	REMAIN	TOTAL	Y SP,	Outdoor Amenity	382.00 sm	438.00 sm		Residential - Proposed							
Surface P1	Resident Vi 0 67	sitor 3 32	Resident 0 54	Visitor 25 0	28 153	AMENIŢ	Amenity Area Total (Existing+Proposed)			BAGE	> 400 Dwelling Units				Type G Type C		1 1	
P2 P3	115 118	0 0	N/A N/A	N/A N/A	115 118		TOTAL Indoor + Outdoor Amenity		1,507.60 sm	GARI								
P4	96	0	N/A	N/A	96		Total Outdoor Amenity		1,018.50 sm	NG/	Garbage Room Size (Residual Bulk Waste Storage Room	dential only)				64sm 10sm	82sm 17sm	
TOTAL PROPOSED	396	35	54	25	510		Total Indoor Amenity		489.10 sm	OADI	Bailt Waste Storage Noom							
Included in the TOTAL	above:									ľ								
Number of Accessible Pa	arking Spaces				15													

		GBA/Tvp.		GBA Gross B	•	569-2013	City-Wide B	y-Law 569-2013			Suit	e Breakd	own			
	Floor	Floor (sm)	No. Floors	(no exclusion)	usions) Sf	GFA Exempt <sup>1</sup> (sm)	GF/	A (Res)	Bach <45sm	1 Bdrm	1 Bdrm +Den	2 Bdrm	2 Bdrm +Den	3 Bdrm	Total Suites	Notes:
EXISTING	TOTAL EXISTING* (19 Storeys Total)	1,473	19	33,259.0	358,008.6	7,190.00	26,069.0	280,606.7	0	36		135		54		*Approximate GFA of the existing buildir
V E NEW PODIUM / TOWER	Mech Penthouse Per Floor 7-19 Total Typical 7-19 Floor 6 Floor 5 Floor 4 Floor 3 Floor 2 Ground	739	1 13 1 1 1 1 1 1	9,607.0 724.0 1,419.0 1,420.0 1,470.0 1,645.0 1,616.0 4,478.4	103,412.3 7,793.3 15,274.5 15,285.3 15,823.5 17,707.2 17,395.0 48,205.5	42.0 39.0 39.0 53.0 275.0 331.0 4,224.1	0.0 698.0 9,074.0 682.0 1,378.0 1,371.0 1,417.0 1,370.0 1,285.0 254.3	97,674.9 7,341.2 14,833.2 14,757.8 15,253.0 14,747.0 13,832.1 2737.4		4 2 1 2 1	0 0 1 6 7 7 4 1	2 26 2 3 3 3 4 1	0 0 3 3 3 2 3	2 26 2 1 1 1 2 0	9 117 9 15 15 16 13 6	
BELOW	P2 P3 P4		1 1 1	4,478.4 4,478.4 3,578.0	48,205.5 48,205.5 38,513.6		170.0 166.3 159.5	1,790.1								
ROPOSED			19	35,320.2	ndoor Amenity	/ Deduction	17,327.1 382.0 16,945.1		0 <b>0</b>	53 <b>76</b>				103 <b>33</b>		Average Unit Size (sm) Total Number of Suites
TOTAL PF									0%	40% 13 17%		22% (9	7% 9 5%	17% 13 39%	39	% of Suite Type Number of Barrier Free Suites % of Barrier Free Suites
GFA USE Breakdown			SIDENTIAL SIDENTIAL												416	Total Units Existing & New
Area Totals & FSI	Total		_	and New Gros ed Floor Space			43,014.1 3.16									

	LANDSCAPE STATISTIC	S		
		sm	sf	%
OPEN SPACE (EXCLUDING BUILD	INGS)	10,607.0	114,172.8	100%
	EXISTING	5,870.0	63,184.7	55.34%
LANDSCARE ODEN SDAGE (SOFT	RETAINED	4,472.0	48,136.6	
LANDSCAPE OPEN SPACE (SOFT LANSCAPING AREA) 1	PROPOSED	1,447.0	15,575.5	
,	TOTAL=RETAINED+PROPOSED	5,919.0	63,712.1	55.80%
	EXISTING	6,316.0	67,985.4	59.55%
	RETAINED	2,761.0	29,719.4	
PAVED SURFACE AREA <sup>2</sup>	PROPOSED	1,643.0	17,685.3	
	TOTAL=RETAINED+PROPOSED	4,404.0	47,404.7	41.52%

<sup>1</sup> Areas are calculated within property limits. Streetscape/public realm is excluded.

<sup>2</sup> Areas include asphalt surfaces (parking and internal driveways) within the property limits.

Municipal Address: 340 Mill Road	
Lot Area (sm)	13625
Lands proposed to be conveyed to TRCA (sm)	1908
Road Widening (sm)	58
Net Lot Area (sm)	11659
Net Lot Area (SIII)	11039
By-law 569-2013: RA (f24; au62.0; d1.94) (x73)	
Prevailing By-law: Former City of Etobicoke By-law 1993-84	
Established Grade:	137.71
(By-Law 569-2013, along lot lines adjacent to streets)	137.71
(by-Law 369-2013, along lot lines adjacent to streets)	
Building Height (Storeys): (excl. Mech Penthouse)	19
Building Height above Established Grade:	60.54 m
(to top of roof excluding Mech. Penthouse)	(2002)
	(sm)
Proposed Residential GFA	16,945.10
Existing Residential GFA	26,069.00
Total Combined Existing and Proposed Residential GFA	43,014.10
Existing Floor Space Index (FSI)	1.91
Combined Existing and Proposed Floor Space Index (FSI)	3.16
Number of Existing Residential Suites	225
Number of Proposed Residential Suites	191
	(sm)
Total Residential Interior Amenity Space Provided	392.00
Total Residential Exterior Amenity Space Provided (Required + Replaced)	438.00
Combined Existing and Proposed Vehicle Parking Spaces Provided	510
combined Existing and Froposed Vehicle Farking Spaces Frovided	310
Proposed Bicycle Parking Spaces Provided	150
Total Type C Leading Spaces Provided	1
Total Type G Loading Spaces Provided  Total Type C Loading Spaces Provided	1

No. Description REVISION RECORD

2022-10-25 Site Plan Control Application Resubmission 2022-06-24 Issued for Bid
2021-12-14 Site Plan Control Application
Resubmission

2021-02-01 Site Plan Control Application
2020-08-12 Rezoning Application Resubmission
2019-05-17 Rezoning Application

ISSUE RECORD



# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

330 MILL ROAD

Etobicoke, ON M9C 4Y9

BMR Title Corp.

16019 N/A PROJECT SCALE

SITE STATISTICS

A100.S

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

PN HT DRAWN REVIEWED

### Toronto Green Standard Statistics template Version 3 Mid to High Rise Residential and all New Non-Residential Development

General Project Description	Proposed
Total Gross Floor Area (sm)	16,945.1
	7 7 7 7 7
Residential	16,945.1
Retail	0
Commercial	0
Industrial	0
Institutional/other	0
Total number of residential units (new)	191

### Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required*	Proposed	Proposed %
Number of parking spaces	510	510	100%
Number of parking spaces dedicated for priority LEV parking		N/A	
Number of parking spaces with EVSE**	102	102	100%
Number of parking spaces EVSE ready***	408	408	100%

\*Refer to the parking ratio proposed in the current TIS prepared by WSP \*\*20% EVSE applied total number of proposed parking spaces

\*\*\*75% EVSE applied total number of proposed parking spaces

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (residential)	130	136	105%
Number of long-term bicycle parking spaces (all other uses)		N/A	
Number of long-term bicycle parking (all uses) located on:	130	136	105%
a) first storey of building	0	0	
b) second storey of building	0	0	
c) first level below-ground	130	136	
d) second level below-ground	0	0	
e) other levels below-ground	0	0	
Number of short-term bicycle parking spaces (residential)	14	14	100%
Number of short-term bicycle parking spaces (all other uses)	N/A	N/A	
Number of male shower and change facilities (non-residential)	N/A	N/A	
Number of female shower and change facilities (non-residential)	N/A	N/A	

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume Required (40% of the site area ÷ 66sm x 30m³) *	2,477	1,132	45.7%
* NOTE: Proposed soil volume is for 47 proposed new deciduous trees. Existing deciduous trees within plot (45 trees) and within streetscape (6 trees)with their respective soil volumes will also contribute to the total soil volume for this project.			

### Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade	14	14	100%
UHI Non-roof Hardscape	Required	Proposed	Proposed %
Total non-roof hardscape area (sm)		1,643	
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (sm)	50%	1,069	65.1%
Area of non-roof hardscape treated with: (indicate sm)			
a) high-albedo surface material		1,069	65.1%
b) open-grid pavement			
c) shade from tree canopy	1 - 3	-	
d) shade from high-albedo structures			
e) shade from energy generation structures			\$ - 2.2
Percentage of required car parking spaces under cover (minimum 75%) (non-residential only)			

Green & Cool Roofs	Required	Proposed	Proposed %
Available Roof Space (sm)		725	
Available Roof Space provided as Green Roof (sm)	362.5	387	106.8%
Available Roof Space provided as Cool Roof (sm)			
Available Roof Space provided as Solar Panels (sm)			

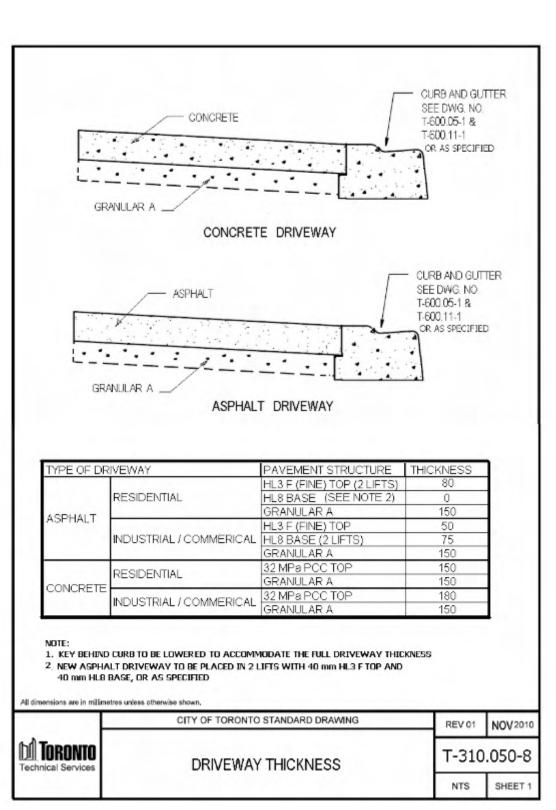
Water Efficiency	Required	Proposed	Proposed %
Total landscaped site area (sm)		1,495	
Landscaped site area planted with drought-tolerant plants (minimum 50%) (sm and %) (if applicable)	50%	1,408	94.1%

Tree Planting Areas & Soil Volume	Required	Proposed	Proposed %
Total Site area (sm)		13,624	
Total Soil Volume Required (40% of the site area ÷ 66sm x 30m³)	2,477	1,132	45.7%
Total number of planting areas (minimum of 30m³ of soil)		10	
Total number of trees planted		49	
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking interior (minimum 1 tree for 5 parking spaces)			

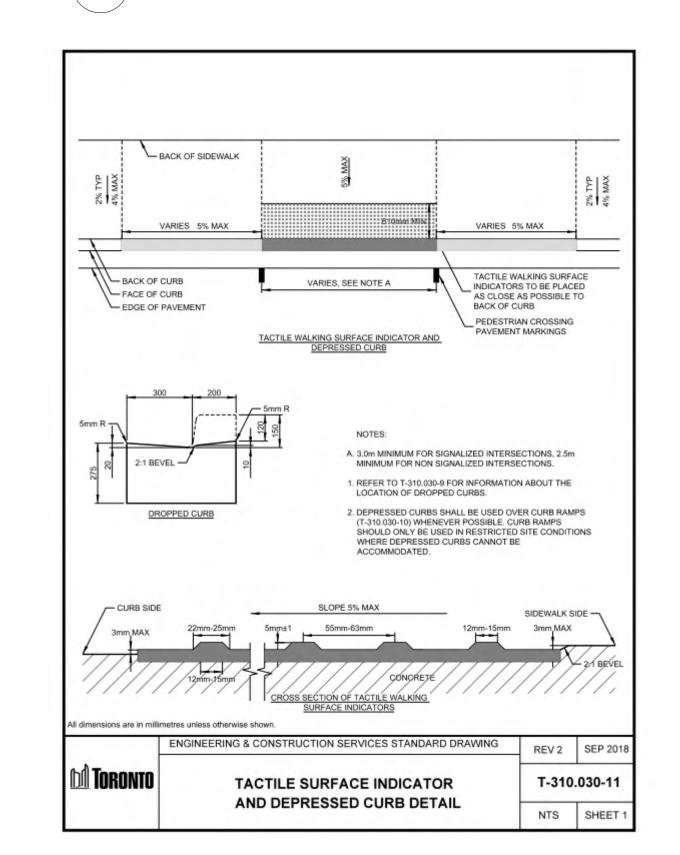
Native and Pollinator Supportive Species	Required	Proposed	Proposed %
Total number of plants		44	
Total number of native plants and % of total plants planted (minimum 50%)	50%	27	61.4%

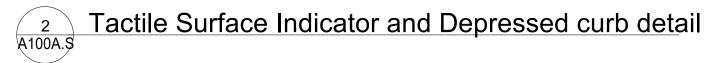
Bird Friendly Glazing	Required	Proposed	Proposed %
Total area of glazing of all elevations within 16m above grade (including glass balcony railings)		1,142.6	
Total area of treated glazing (minimum 85% of total area of glazing within 16m above grade) (sm)		968.8	85.0%
Percentage of glazing within 16m above grade treated with:			
a) Low reflectance opaque materials		0	0.0%
b) Visual markers		730.5	63.9%
c) Shading		238.3	20.9%
Total area of glazing of all elevations within 4m above rooftop vegetation (including glass balcony railings)		61.1	
Total area of treated glazing (minimum 85% of total area of glazing within 4m above rooftop vegetation) (sm)	51.94	57.6	94.3%
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials		0	0.0%
b) Visual markers		36	58.9%
c) Shading		21.6	35.4%

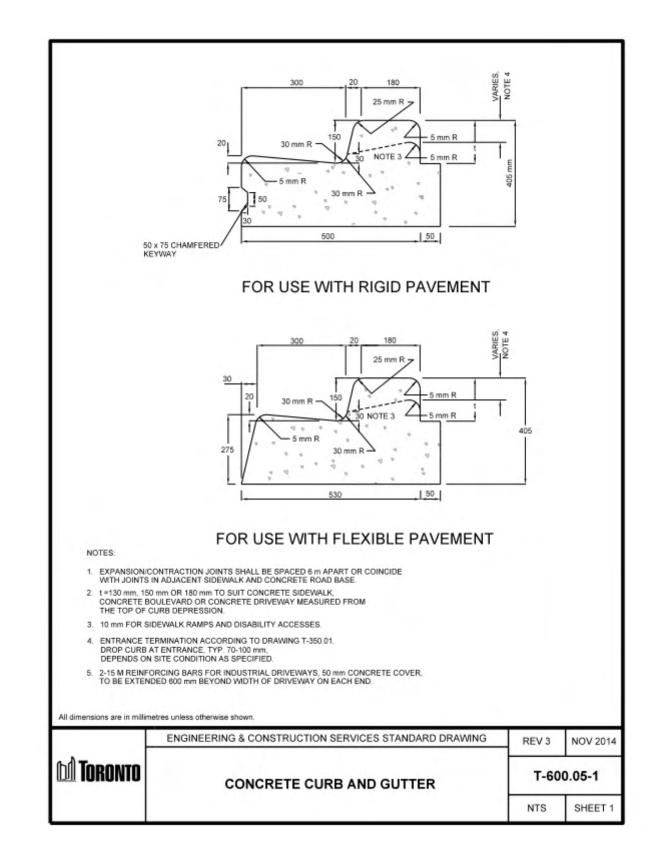
ACCESSIBILITY DESIGN STANDARD CHECKLIST						
NO	DESCRIPTION	FLOOR				
1	MIN. 1500MM WIDE SIDEWALK	GROUND				
2	EXTERIOR PATH - STABLE, FIRM, SLIP RESISTANCE	GROUND				
3	MIN. 1100MM WIDTH PATH OF TRAVEL WITH 1800X1800MM LAYBY EVERY 30M	P4-FLOOR 19				
4	ACCESSIBLE PARKING SPACE & SIGNAGE	P4-P1				
5	OVERHEAD CLEARANCE OF 2100MM FROM PARKING ENTRANCE TO ACCESSIBLE PARKING SPACE	P4-P1				
6	ACCESSIBLE BUILDING ENTRANCES	P4-GROUND				
7	VESTIBULE WITH 1500MM DIAMETER TURNING CIRCLE	P4-GROUND				
8	BARRIER FREE PASSENGER ELEVATOR	P4- FLOOR 19				
9	POWER DOOR OPERATOR AND PUSH BUTTONS AT MAIN RESIDENTIAL ENTRANCES	GROUND				
10	LATCH SIDE CLEARANCE OF 600MM (PULL SIDE) AND (300MM (PUSH SIDE) FOR AMENITY DOORS AND BARRIER FREE SUITE.	GROUND- FLOOR 1				
11	POWER DOOR OPERATOR WHERE LATCH SIDE CLEARANCE IS NOT PROVIDED	P4-FLOOR 19				
12	UNIVERSAL WASHROOMS AT AMENITY	GROUND				
13	ACCESSIBLE WASHROOM AT GROUND FLOOR	GROUND				
14	860MM CLEAR DOOR WIDTH FOR ALL COMMON AREAS AND SUITE ENTRY DOORS	P4-MPH				
15	15% BARRIER FREE SUITE FOR EACH SUITE TYPE	GROUND-FLOOR 19				



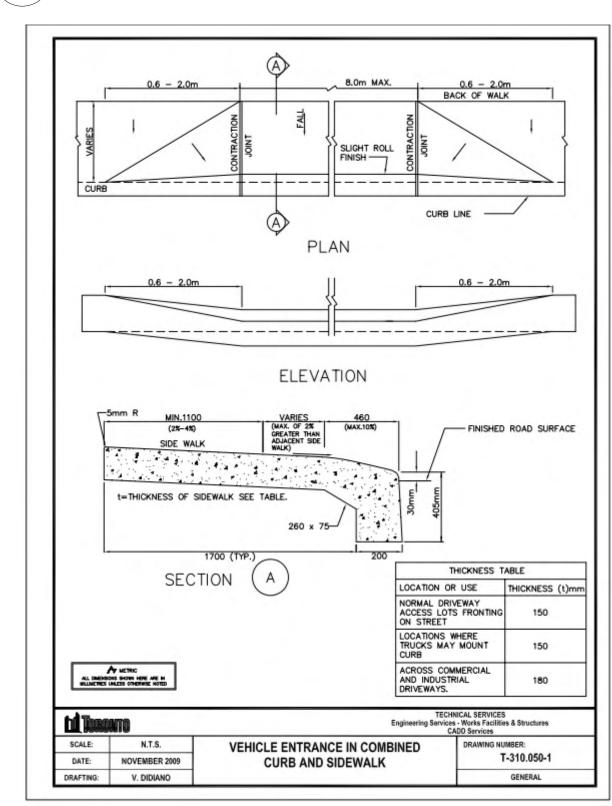




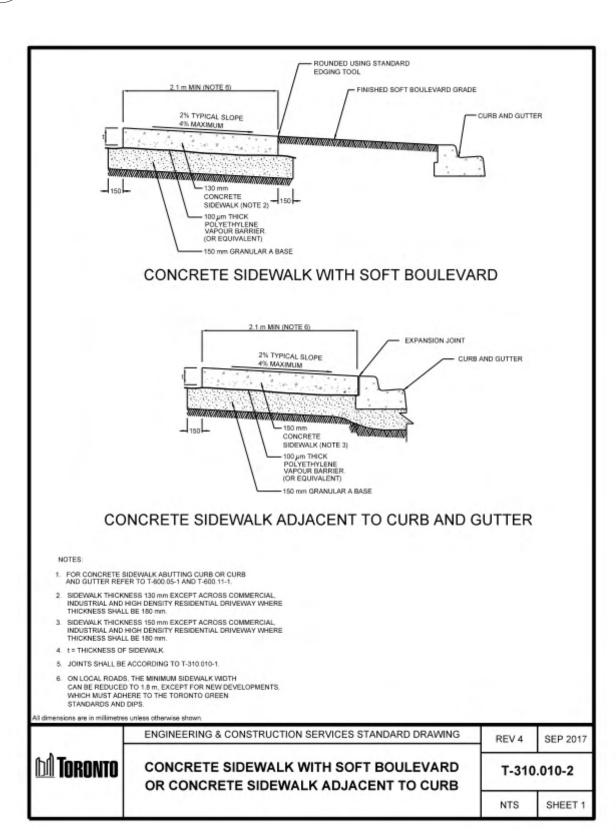


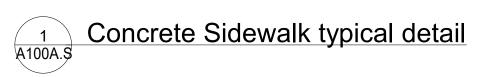


# 5 Concrete Curb and Gutter detail



3 Vehicle entrance in combined Curb and Sidewalk detail





No. Description

REVISION RECORD

2022-10-25 | Site Plan Control Application Resubmission 2022-06-24 | Issued for Bid 2021-12-14 Site Plan Control Application Resubmission 2021-02-01 Site Plan Control Application ISSUE RECORD



# BDP. Quadrangle

Quadrangle Architects Limited 901 King Street West, Suite 701 Toronto, ON M5V 3H5 t 416 598 1240 www.bdpquadrangle.com

330 MILL ROAD

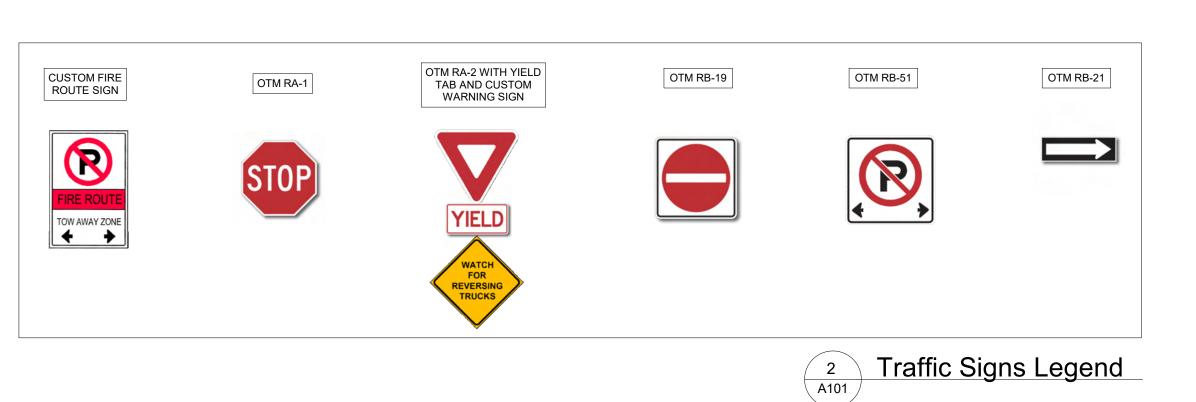
Etobicoke, ON M9C 4Y9

BMR Title Corp.

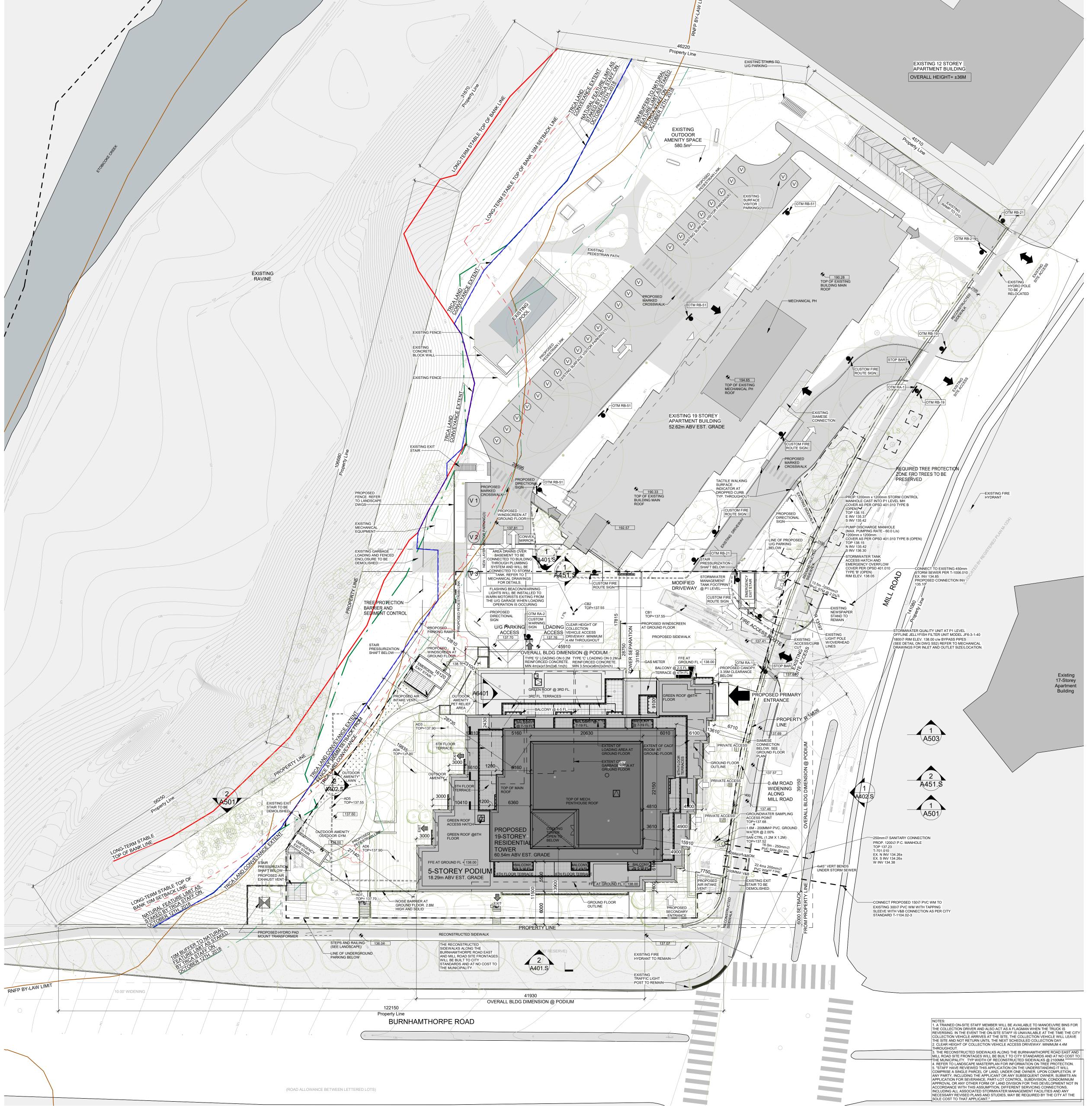
16019 NTS PN HT PROJECT SCALE DRAWN REVIEWED

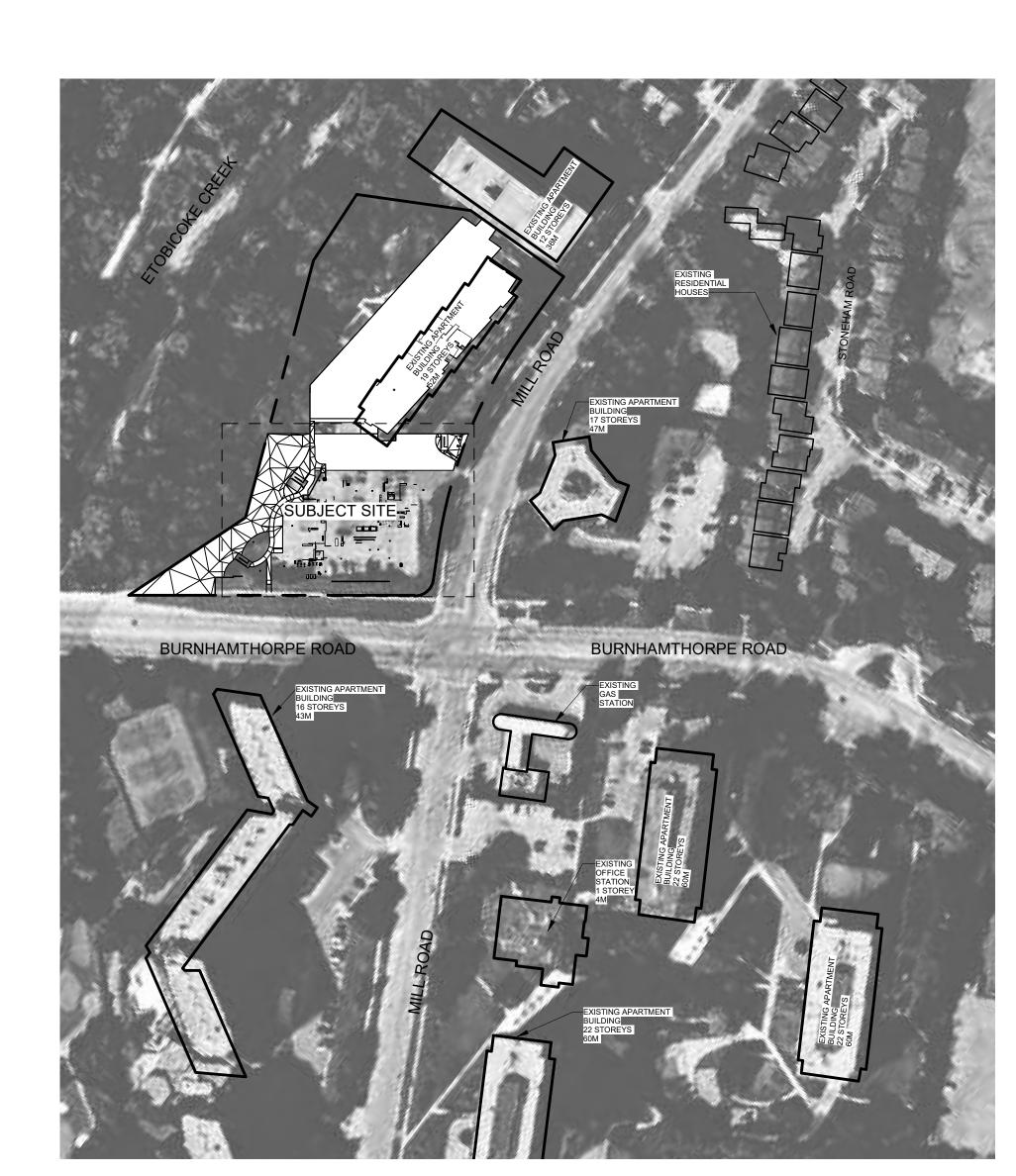
SITE STATISTICS AND TYPICAL DETAILS

A100A.S

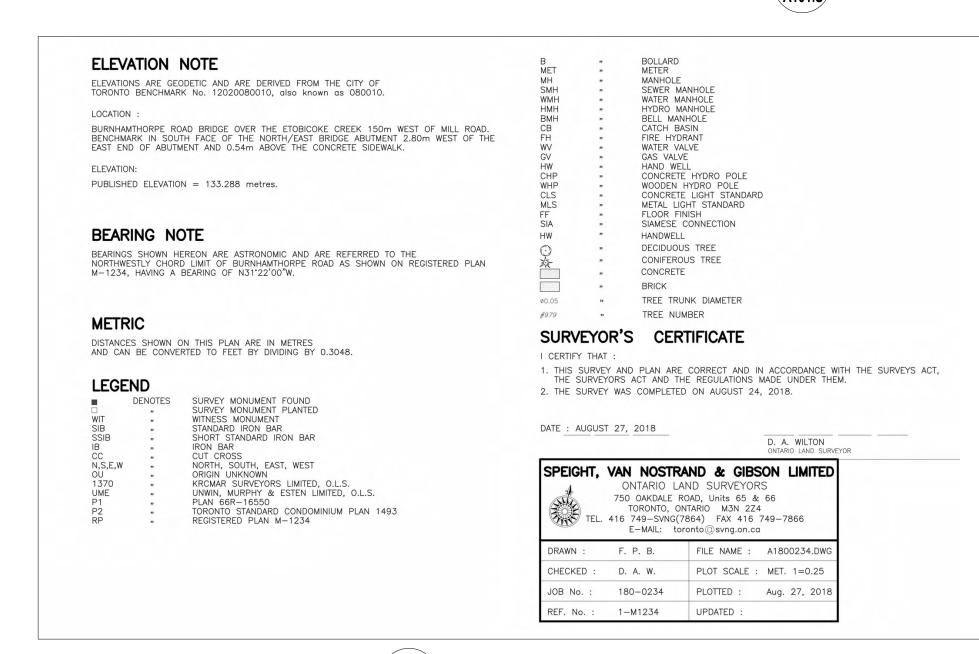


(ROAD ALLOWANCE BETWEEN LETTERED LOTS)





4 Key Plan A101.S SCALE: 1: 1500



Legend (Topographic) & Survey Information

SITE PLAN LEGEND

- PROPERTY LINE LINE OF UNDERGROUND GARAGE BELOW NATURAL FEATURES LIMIT NATURAL FEATURES LIMIT 10M BUFFER LINE LONG-TERM STABLE TOP OF BANK LINE LONG-TERM STABLE TOP OF — — — — BANK 10M SETBACK LINE TRCA LAND CONVEYANCE EXTENT (BLUE) AND 100MM

> RNFP BY-LAW LIMIT PRIMARY BUILDING **ENTRANCE**

OFFSET FENCÉ (DASHED)

SECONDARY ENTRANCE VEHICLE / LOADING

ENTRANCE / EXIT

FIRE HYDRANT SIAMESE CONNECTION

MANHOLE COVER AREA DRAIN CATCH BASIN

EXISTING LIGHT SPOT ELEVATION REFERENCE F.F.E. FINISH FLOOR **ELEVATION** POLE LIGHT

(REFER TO LANDSCAPE) WALL MOUNTED

WALL MOUNT SIGN POST MOUNT SIGN EXISTING TO REMAIN

CONVEX MIRROR

AMENITY AREA RENOVATIONS BUILDING SECTION REFERENCE

1 ELEVATION REFERENCE

No. Description REVISION RECORD

2022-10-25 Site Plan Control Application

Resubmission 2022-06-24 Issued for Bid 2022-01-11 Dimensions to Proposed Conveyance

2021-12-14 Site Plan Control Application

2021-02-01 Site Plan Control Application 2020-08-12 | Rezoning Application Resubmission 2019-05-17 Rezoning Application ISSUE RECORD





BDP. Quadrangle

Quadrangle Architects Limited 901 King Street West, Suite 701 Toronto, ON M5V 3H5 t 416 598 1240 www.bdpquadrangle.com

330 MILL ROAD

Etobicoke, ON M9C 4Y9

16019 As indicated PN HT

DRAWN REVIEWED

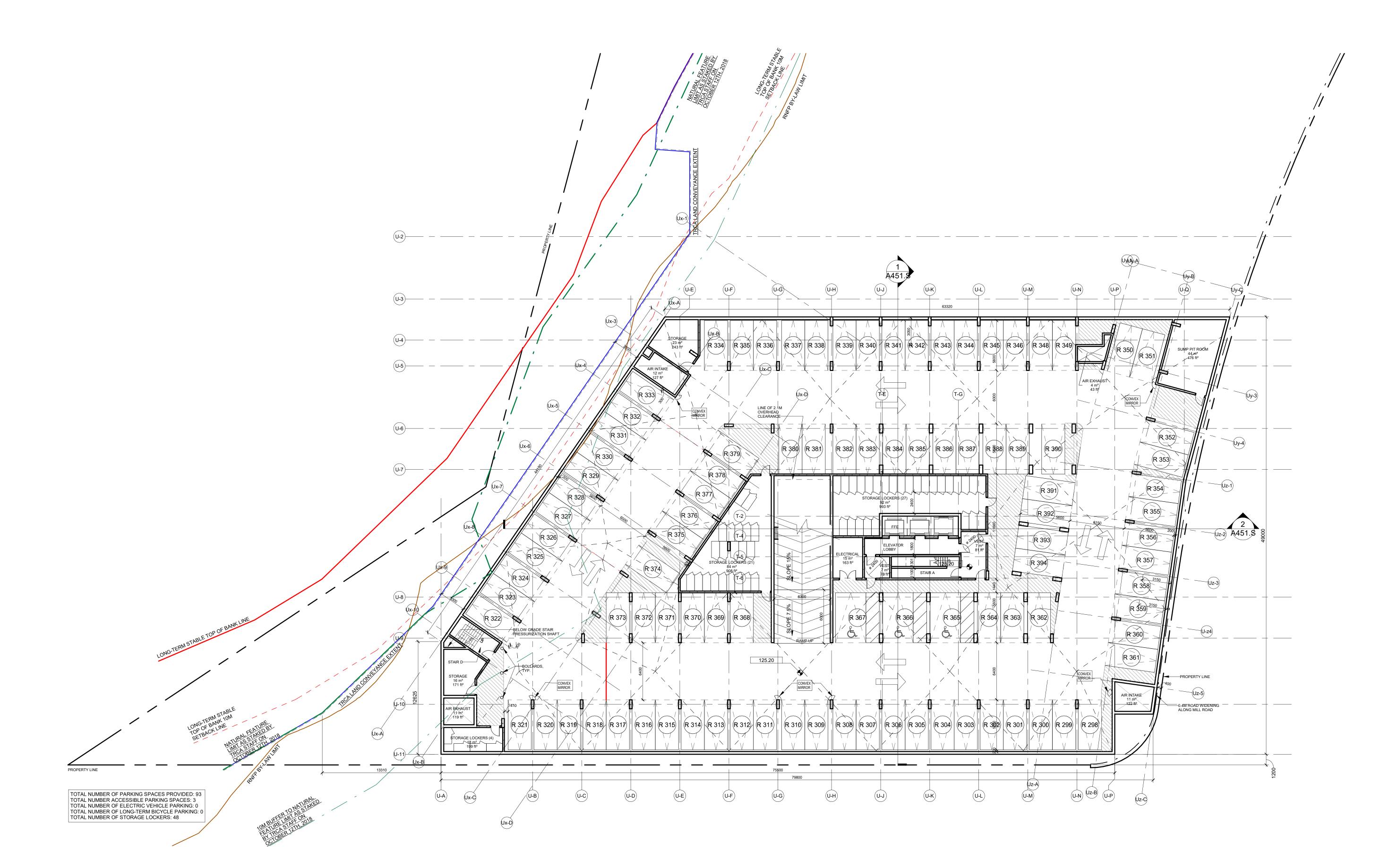
SITE PLAN

1 A101.S - SITE PLAN A101.S SCALE: 1: 300

PROJECT SCALE

BMR Title Corp.

A101.S



1 Underground Parking Level P4
A151.S SCALE: 1:200

## LINES AND BOUNDARIES LEGEND:

— - PROPERTY LINE

— — — LINE OF UNDERGROUND GARAGE BELOW

NATURAL FEATURES LIMIT LINE
 NATURAL FEATURES LIMIT 10M BUFFER

LINE

LONG-TERM STABLE TOP OF BANK LINE

\_\_ \_ \_ LONG-TERM STABLE TOP OF BANK 10M SETBACK LINE

TRCA LAND CONVEYANCE EXTENT (BLUE)
AND 100MM OFFSET FENCE (DASHED)

### PARKING NOTES:

## MINIMUM PARKING SPACE SIZES

(ONE SIDE OBSTRUCTED)

MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):

RNFP BY-LAW LIMIT

- 2600mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED) - 2900mm WIDE X 5600mm LONG

- 3200mm WIDE X 5600mm LONG
(TWO SIDES OBSTRUCTED

2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm

UNLESS OTHERWISE NOTED

3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF
2100mm THROUGHOUT.

4. ALL SPACES NOT EQUIPED WITH EVSE WILL HAVE
PROVISIONS FOR FUTURE INSTALLATION.

PARKING LEGEND:

(#) PARKING SPACE

R = RESIDENT PARKING
V = VISITOR PARKING
L = LEV PARKING
S = CAR SHARING, CARPOOLING

S = CAR SHARING, CARPOOLING
EV = ELECTRIC VEHICLE SUPPLY EQUIPMENT

2600

2900

2900

TYPICAL ONE SIDE PARALLEL PARKING

OBSTRUCTED
3400 1500

ACCESSIBLE VERTICAL PARKING BIKE RACK

EXISTING TO REMAIN

TWO WAY DRIVE AISLE

PEDESTRIAN AISLES

CONVEX MIRROR

Date No. Description

REVISION RECORD

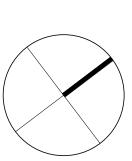
2021-12-14 Site Plan Control Application

Resubmission

2021-02-01 Site Plan Control Application

2020-08-12 Rezoning Application Resubmission

2019-05-17 Rezoning Application





# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

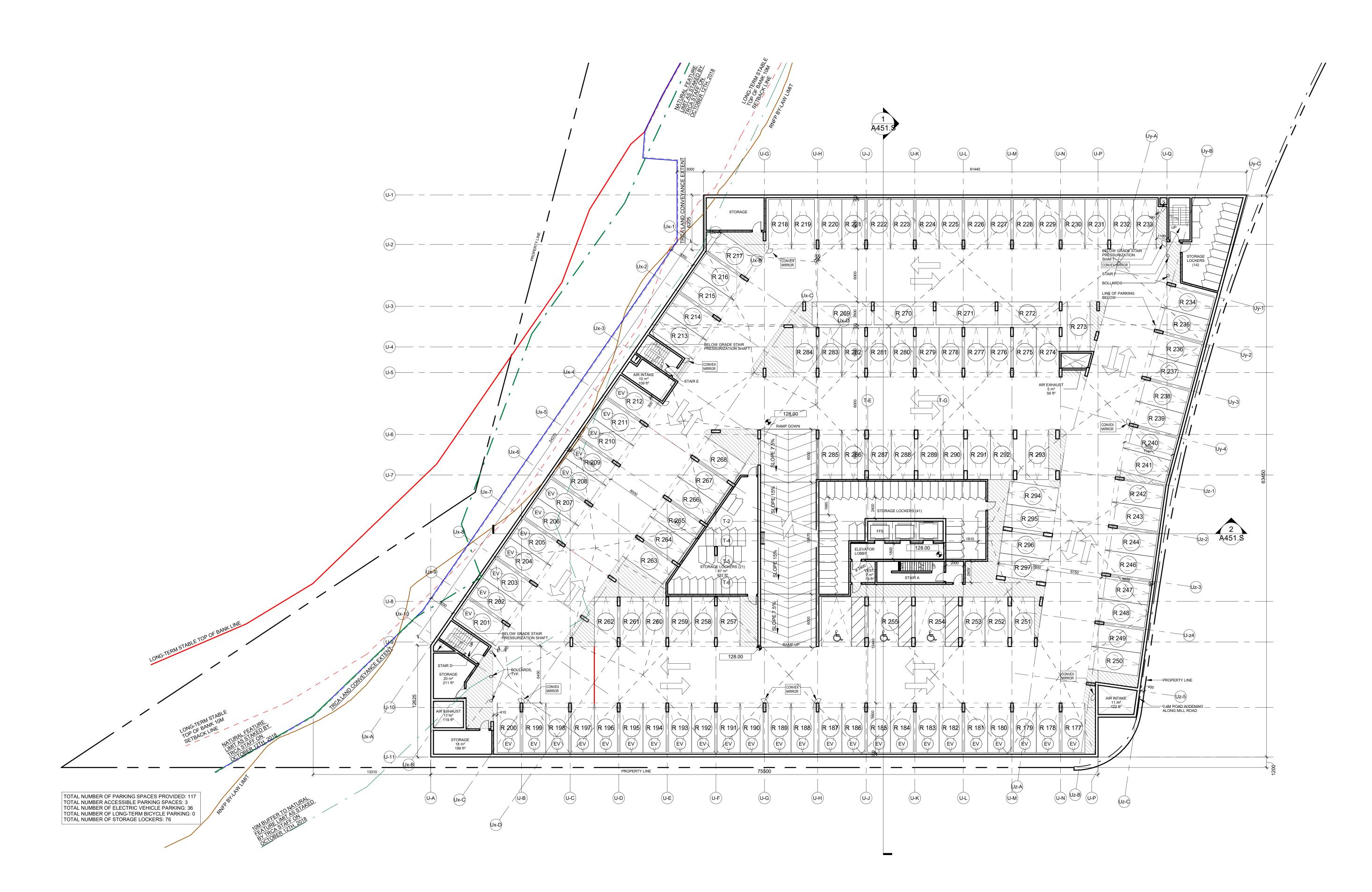
Etobicoke, ON M9C 4Y9

| for | BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE DRAWN REVIEW

UNDERGROUND PARKING LEVEL P4

A151.S



1 Underground Parking Level P3
SCALE: 1:200

### LINES AND BOUNDARIES LEGEND:

— - PROPERTY LINE

— — — LINE OF UNDERGROUND GARAGE BELOW

NATURAL FEATURES LIMIT LINE

NATURAL FEATURES LIMIT 10M BUFFER

LINE

LONG-TERM STABLE TOP OF BANK LINE

LONG-TERM STABLE TOP OF BANK 10M
SETBACK LINE

TRCA LAND CONVEYANCE EXTENT (BLUE)

AND 100MM OFFSET FENCE (DASHED)

RNFP BY-LAW LIMIT

### PARKING NOTES:

## MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):

- 2600mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED) - 2900mm WIDE X 5600mm LONG

(ONE SIDE OBSTRUCTED)
- 3200mm WIDE X 5600mm LONG

 (TWO SIDES OBSTRUCTED
 MAINTAIN MININUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED
 MAINTAIN MINIMUM HEADROOM CLEARANCE OF

2100mm THROUGHOUT.

4. ALL SPACES NOT EQUIPED WITH EVSE WILL HAVE PROVISIONS FOR FUTURE INSTALLATION.

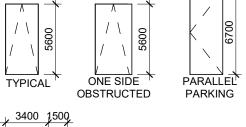
PARKING LEGEND:

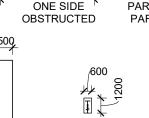
# PARKING SPACE

R = RESIDENT PARKING
V = VISITOR PARKING
L = LEV PARKING

L = LEV PARKING
S = CAR SHARING, CARPOOLING
EV = ELECTRIC VEHICLE SUPPLY EQUIPMENT

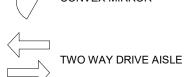
2600
2900
2900







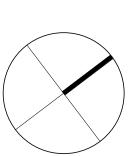




Date No. Description
REVISION RECORD

2021-12-14 Site Plan Control Application
Resubmission
2021-02-01 Site Plan Control Application
2020-08-12 Rezoning Application Resubmission

2019-05-17 Rezoning Application





# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

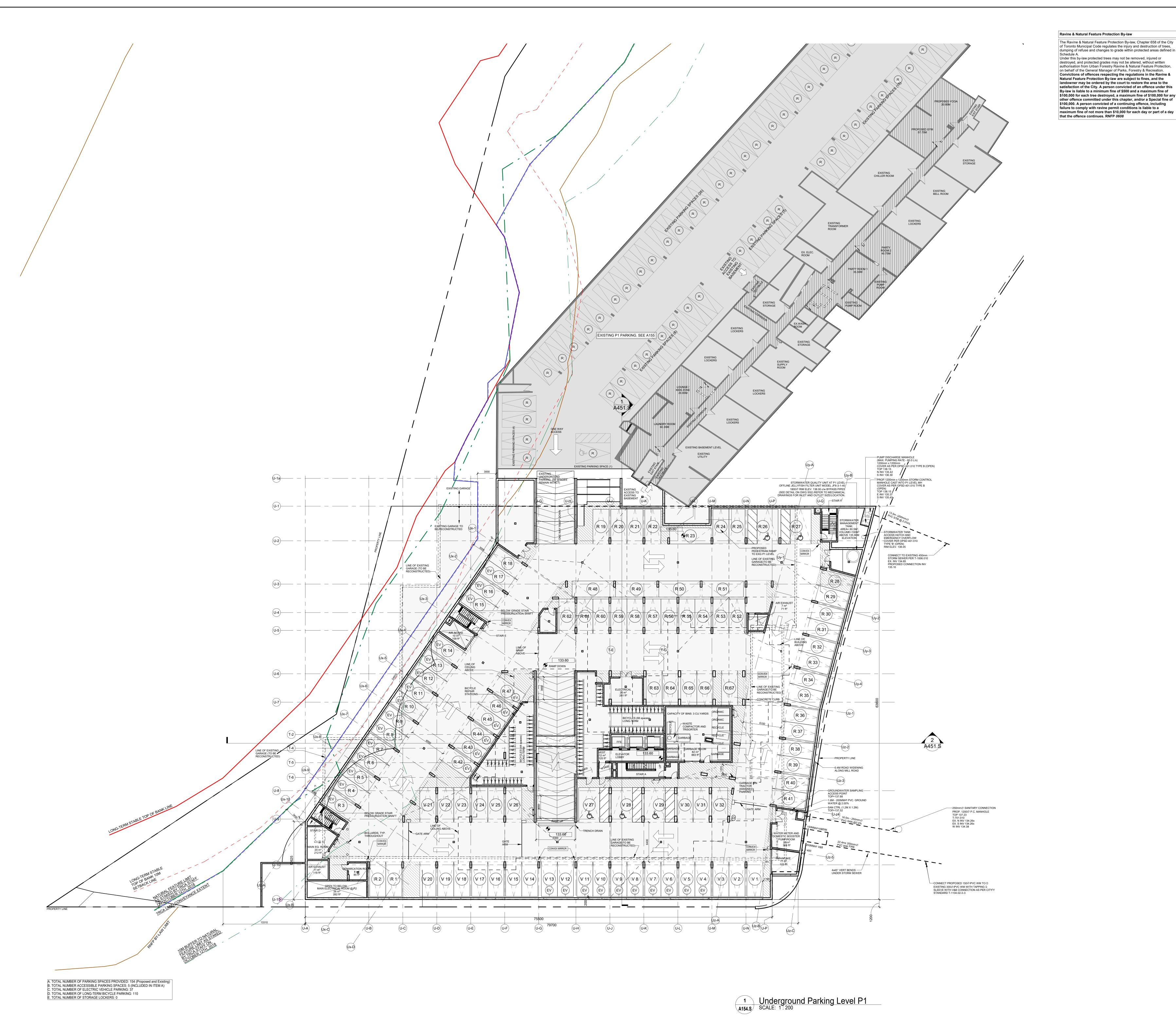
Etobicoke, ON M9C 4Y9

| for | BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE DRAWN REVIEW

UNDERGROUND PARKING LEVEL P3

A152.S



### **LINES AND BOUNDARIES LEGEND:**

PROPERTY LINE

— — — LINE OF UNDERGROUND GARAGE BELOW

NATURAL FEATURES LIMIT LINE

\_\_\_ \_ NATURAL FEATURES LIMIT 10M BUFFER LINE

LONG-TERM STABLE TOP OF BANK LINE

\_\_ \_ \_ LONG-TERM STABLE TOP OF BANK 10M SETBACK LINE

TRCA LAND CONVEYANCE EXTENT (BLUE) AND 100MM OFFSET FENCE (DASHED)

RNFP BY-LAW LIMIT

PARKING NOTES:

## MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):

- 2600mm WIDE X 5600mm LONG

(NO SIDES OBSTRUCTED) - 2900mm WIDE X 5600mm LONG (ONE SIDE OBSTRUCTED)
- 3200mm WIDE X 5600mm LONG

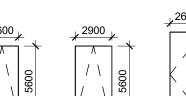
(TWO SIDES OBSTRUCTED

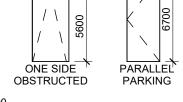
MAINTAIN MININUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED MAINTAIN MINIMUM HEADROOM CLEARANCE OF

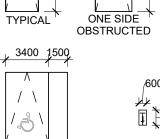
MAINTAIN MINIMOM HEADROOM CLEARANCE OF 2100mm THROUGHOUT. ALL SPACES NOT EQUIPED WITH EVSE WILL HAVE PROVISIONS FOR FUTURE INSTALLATION. PARKING LEGEND:

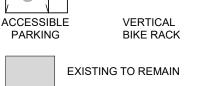
(#) PARKING SPACE R = RESIDENT PARKING

V = VISITOR PARKING L = LEV PARKING S = CAR SHARING, CARPOOLING EV = ELECTRIC VEHICLE SUPPLY EQUIPMENT

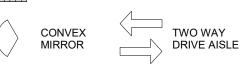












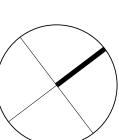
No. Description REVISION RECORD

2022-10-25 Site Plan Control Application

2022-06-24 Issued for Bid 2021-12-14 Site Plan Control Application

Resubmission 2021-02-01 Site Plan Control Application 2020-08-12 Rezoning Application Resubmission

2019-05-17 Rezoning Application ISSUE RECORD





# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

330 MILL ROAD

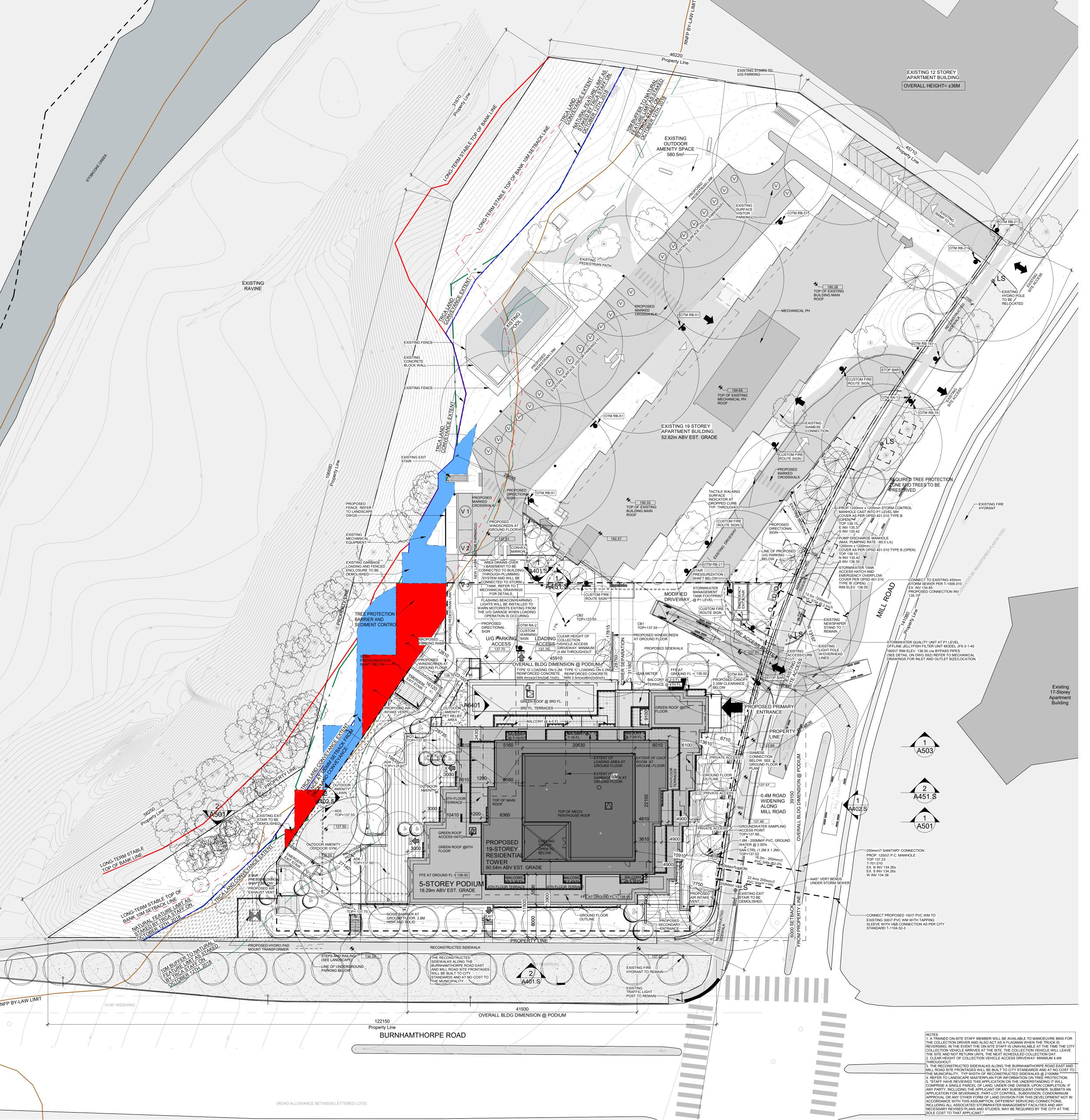
Etobicoke, ON M9C 4Y9

BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE DRAWN REVIEWED

UNDERGROUND PARKING LEVEL P1

A154.S



SITE PLAN LEGEND

- PROPERTY LINE LINE OF UNDERGROUND GARAGE BELOW \_\_\_\_\_ NATURAL FEATURES LIMIT NATURAL FEATURES LIMIT 10M BUFFER LINE LONG-TERM STABLE TOP OF BANK LINE LONG-TERM STABLE TOP OF — — — — BANK 10M SETBACK LINE TRCA LAND CONVEYANCE
EXTENT (BLUE) AND 100MM OFFSET FENCÉ (DASHED) RNFP BY-LAW LIMIT

PRIMARY BUILDING SECONDARY ENTRANCE

> VEHICLE / LOADING ENTRANCE / EXIT FIRE HYDRANT

SIAMESE CONNECTION MANHOLE COVER AREA DRAIN CATCH BASIN **EXISTING LIGHT** 

SPOT ELEVATION REFERENCE F.F.E. FINISH FLOOR **ELEVATION** POLE LIGHT (REFER TO LANDSCAPE)

LANDSCAPE) WALL MOUNTED

WALL MOUNT SIGN POST MOUNT SIGN EXISTING TO REMAIN

CONVEX MIRROR

BUILDING SECTION REFERENCE 1 ELEVATION REFERENCE

No. Description

REVISION RECORD

2022-11-22 Issued for Review

ISSUE RECORD



# BDP. Quadrangle

Quadrangle Architects Limited

901 King Street West, Suite 701 Toronto, ON M5V 3H5 t 416 598 1240 www.bdpquadrangle.com

330 MILL ROAD

Etobicoke, ON M9C 4Y9 BMR Title Corp.

16019 As indicated PN HT

DRAWN REVIEWED

SITE PLAN - PROPOSED

PROJECT SCALE

REMOVALS

1 A101.S - SITE PLAN with Proposed Removals

A101.R

Note: This drawing is the property of the Architect and may not be reproduced or ised without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

3 Legend (Topographic) & Survey Information

REF. No. : 1-M1234 UPDATED :

BOLLARD
METER
MANHOLE
SEWER MANHOLE
WATER MANHOLE
HYDRO MANHOLE
BELL MANHOLE
CATCH BASIN
FIRE HYDRANT
WATER VALVE
GAS VALVE
HAND WELL
CONCRETE HYDRO POLE
WOODEN HYDRO POLE
CONCRETE LIGHT STANDARD
METAL LIGHT STANDARD
FLOOR FINISH
SIAMESE CONNECTION
HANDWFII HANDWELL DECIDUOUS TREE CONIFEROUS TREE " CONCRETE BRICK ø0.05 " TREE TRUNK DIAMETER #979 " TREE NUMBER SURVEYOR'S CERTIFICATE I CERTIFY THAT : 2. THE SURVEY WAS COMPLETED ON AUGUST 24, 2018.

**ELEVATION NOTE** 

BEARING NOTE

**METRIC** 

PUBLISHED ELEVATION = 133.288 metres.

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CITY OF TORONTO BENCHMARK No. 12020080010, also known as 080010.

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

DENOTES SURVEY MONUMENT FOUND
SURVEY MONUMENT PLANTED
WIT "WITNESS MONUMENT
SIB "STANDARD IRON BAR
SIB "SHORT STANDARD IRON BAR
IRON BAR
CUT CROSS
W "NORTH, SOUTH, EAST, WEST
ORIGIN UNKNOWN
KRCMAR SURVEYORS LIMITED, O.L.S.
UNWIN, MURPHY & ESTEN LIMITED, O.L.S.
"PLAN 66R-16550
"TORONTO STANDARD CONDOMINIUM PLAN 1493
REGISTERED PLAN M-1234

BURNHAMTHORPE ROAD BRIDGE OVER THE ETOBICOKE CREEK 150m WEST OF MILL ROAD. BENCHMARK IN SOUTH FACE OF THE NORTH/EAST BRIDGE ABUTMENT 2.80m WEST OF THE EAST END OF ABUTMENT AND 0.54m ABOVE THE CONCRETE SIDEWALK.

BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE REFERRED TO THE NORTHWESTLY CHORD LIMIT OF BURNHAMTHORPE ROAD AS SHOWN ON REGISTERED PLAN M-1234, HAVING A BEARING OF N31"22'00"W.

 THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM. DATE : AUGUST 27, 2018

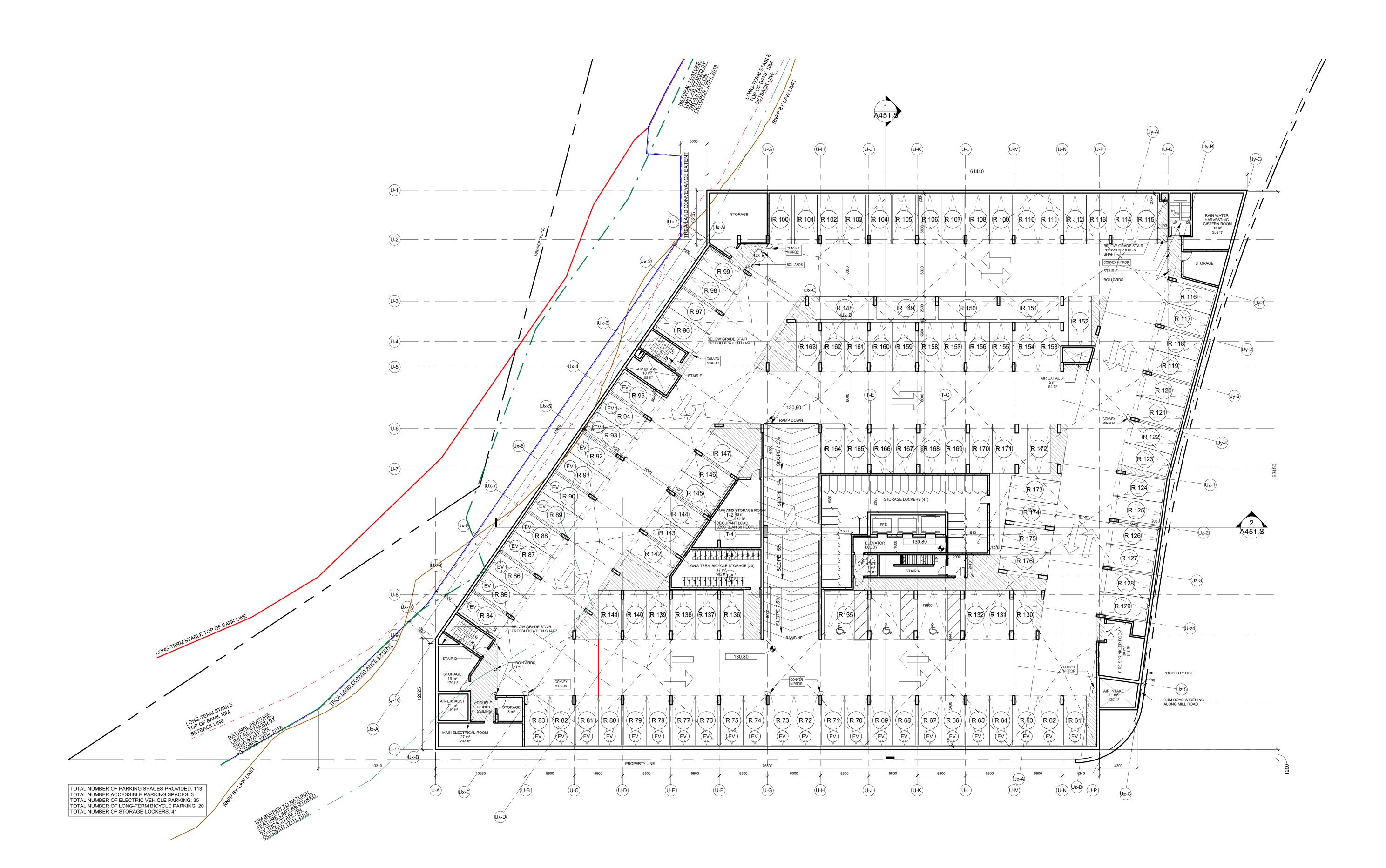
**Proposed Removals Within Natural Feature Limit** 

Extent of existing below grade parking structure to be removed

Extent of existing surface parking to be removed

\*Areas within and adjacent to the Proposed Removals to be regraded

D. A. WILTON ONTARIO LAND SURVEYOR SPEIGHT, VAN NOSTRAND & GIBSON LIMITED 750 OAKDALE ROAD, Units 65 & 66 TORONTO, ONTARIO M3N 2Z4 TEL. 416 749-SVNG(7864) FAX 416 749-7866 E-MAIL: toronto@svng.on.ca DRAWN: F. P. B. | FILE NAME: A1800234.DWG CHECKED: D. A. W. PLOT SCALE: MET. 1=0.25 JOB No. : 180-0234 PLOTTED : Aug. 27, 2018



1 Underground Parking Level P2
A153.S SCALE: 1:200

### **LINES AND BOUNDARIES LEGEND:**

PROPERTY LINE

— — — LINE OF UNDERGROUND GARAGE BELOW

- NATURAL FEATURES LIMIT LINE

NATURAL FEATURES LIMIT 10M BUFFER

LONG-TERM STABLE TOP OF BANK LINE

\_\_\_ \_ LONG-TERM STABLE TOP OF BANK 10M SETBACK LINE

TRCA LAND CONVEYANCE EXTENT (BLUE) AND 100MM OFFSET FENCE (DASHED) RNFP BY-LAW LIMIT

## PARKING NOTES:

MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):

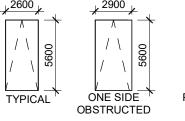
- 2600mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED) - 2900mm WIDE X 5600mm LONG

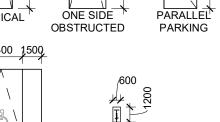
(ONE SIDE OBSTRUCTED)
- 3200mm WIDE X 5600mm LONG (TWO SIDES OBSTRUCTED MAINTAIN MININUM DRIVE AISLE WIDTH OF 6000mm

UNLESS OTHERWISE NOTED MAINTAIN MINIMUM HEADROOM CLEARANCE OF MAIN I AIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT. ALL SPACES NOT EQUIPED WITH EVSE WILL HAVE PROVISIONS FOR FUTURE INSTALLATION.

PARKING LEGEND: (#) PARKING SPACE R = RESIDENT PARKING

V = VISITOR PARKING L = LEV PARKING S = CAR SHARING, CARPOOLING EV = ELECTRIC VEHICLE SUPPLY EQUIPMENT







ACCESSIBLE PARKING





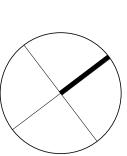
TWO WAY DRIVE AISLE

### No. Description REVISION RECORD

2021-12-14 Site Plan Control Application

2021-02-01 Site Plan Control Application 2020-08-12 Rezoning Application Resubmission

2019-05-17 Rezoning Application ISSUE RECORD





# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

Etobicoke, ON M9C 4Y9

BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE DRAWN REVIEW

UNDERGROUND PARKING LEVEL P2

A153.S

EXISTING P1 PARKING. SEE A155



### **LINES AND BOUNDARIES LEGEND:**

PROPERTY LINE

— — — LINE OF UNDERGROUND GARAGE BELOW

NATURAL FEATURES LIMIT LINE

NATURAL FEATURES LIMIT 10M BUFFER

LONG-TERM STABLE TOP OF BANK LINE

\_\_ \_ \_ LONG-TERM STABLE TOP OF BANK 10M SETBACK LINE

TRCA LAND CONVEYANCE EXTENT (BLUE) AND 100MM OFFSET FENCE (DASHED)

RNFP BY-LAW LIMIT

### PARKING NOTES:

MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):

- 2600mm WIDE X 5600mm LONG

(NO SIDES OBSTRUCTED) - 2900mm WIDE X 5600mm LONG (ONE SIDE OBSTRUCTED)

- 3200mm WIDE X 5600mm LONG

(TWO SIDES OBSTRUCTED MAINTAIN MININUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

ALL SPACES NOT EQUIPED WITH EVSE WILL HAVE PROVISIONS FOR FUTURE INSTALLATION. PARKING LEGEND:

# PARKING SPACE R = RESIDENT PARKING V = VISITOR PARKING L = LEV PARKING S = CAR SHARING, CARPOOLING

EV = ELECTRIC VEHICLE SUPPLY EQUIPMENT

TYPICAL ONE SIDE PARALLEL
OBSTRUCTED PARKING

**BIKE RACK** 

PEDESTRIAN AISLES

EXISTING TO REMAIN

CONVEX MIRROR

TWO WAY DRIVE AISLE

No. Description

ACCESSIBLE PARKING

REVISION RECORD

2021-12-14 | Site Plan Control Application

Resubmission 2021-02-01 Site Plan Control Application 2020-08-12 Rezoning Application Resubmission

2019-05-17 Rezoning Application ISSUE RECORD





Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

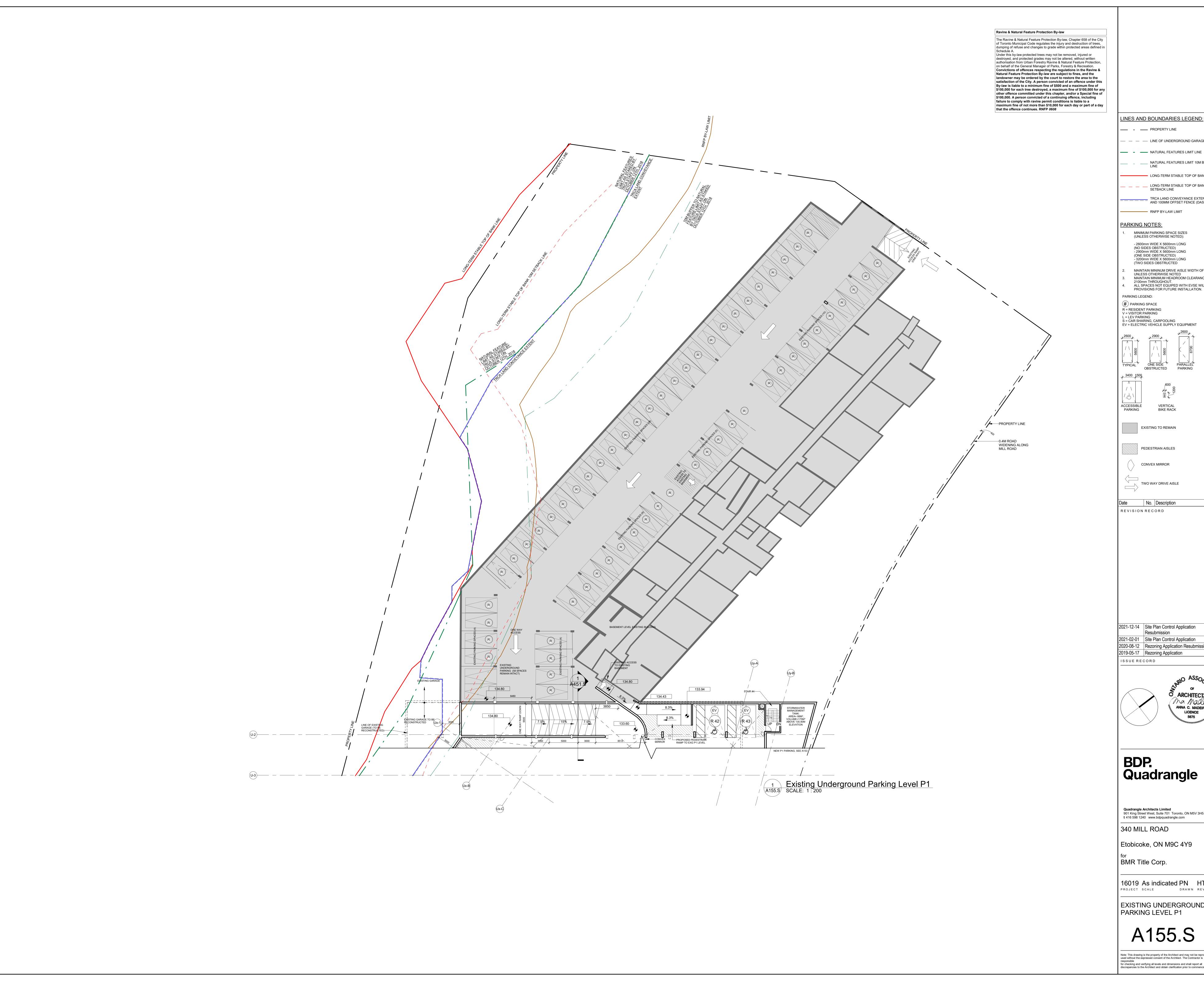
Etobicoke, ON M9C 4Y9

BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE

UNDERGROUND PARKING LEVEL P1

A154.S



**LINES AND BOUNDARIES LEGEND:** 

PROPERTY LINE

— — — LINE OF UNDERGROUND GARAGE BELOW

NATURAL FEATURES LIMIT 10M BUFFER

LONG-TERM STABLE TOP OF BANK LINE

\_\_ \_ \_ LONG-TERM STABLE TOP OF BANK 10M SETBACK LINE

TRCA LAND CONVEYANCE EXTENT (BLUE)
AND 100MM OFFSET FENCE (DASHED)

RNFP BY-LAW LIMIT

### PARKING NOTES:

## MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):

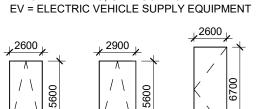
- 2600mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED) - 2900mm WIDE X 5600mm LONG

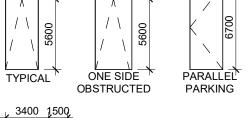
(ONE SIDE OBSTRUCTED)
- 3200mm WIDE X 5600mm LONG (TWO SIDES OBSTRUCTED

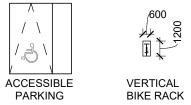
MAINTAIN MININUM DRIVE AISLE WIDTH OF 6000mm MAINTAIN MININOM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.
ALL SPACES NOT EQUIPED WITH EVSE WILL HAVE PROVISIONS FOR FUTURE INSTALLATION.

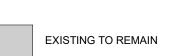
PARKING LEGEND: (#) PARKING SPACE

R = RESIDENT PARKING V = VISITOR PARKING L = LEV PARKING S = CAR SHARING, CARPOOLING













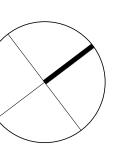
TWO WAY DRIVE AISLE

No. Description REVISION RECORD

2021-12-14 Site Plan Control Application Resubmission 2021-02-01 Site Plan Control Application

2020-08-12 Rezoning Application Resubmission
2019-05-17 Rezoning Application

ISSUERECORD





# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

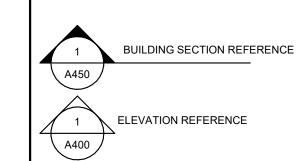
Etobicoke, ON M9C 4Y9

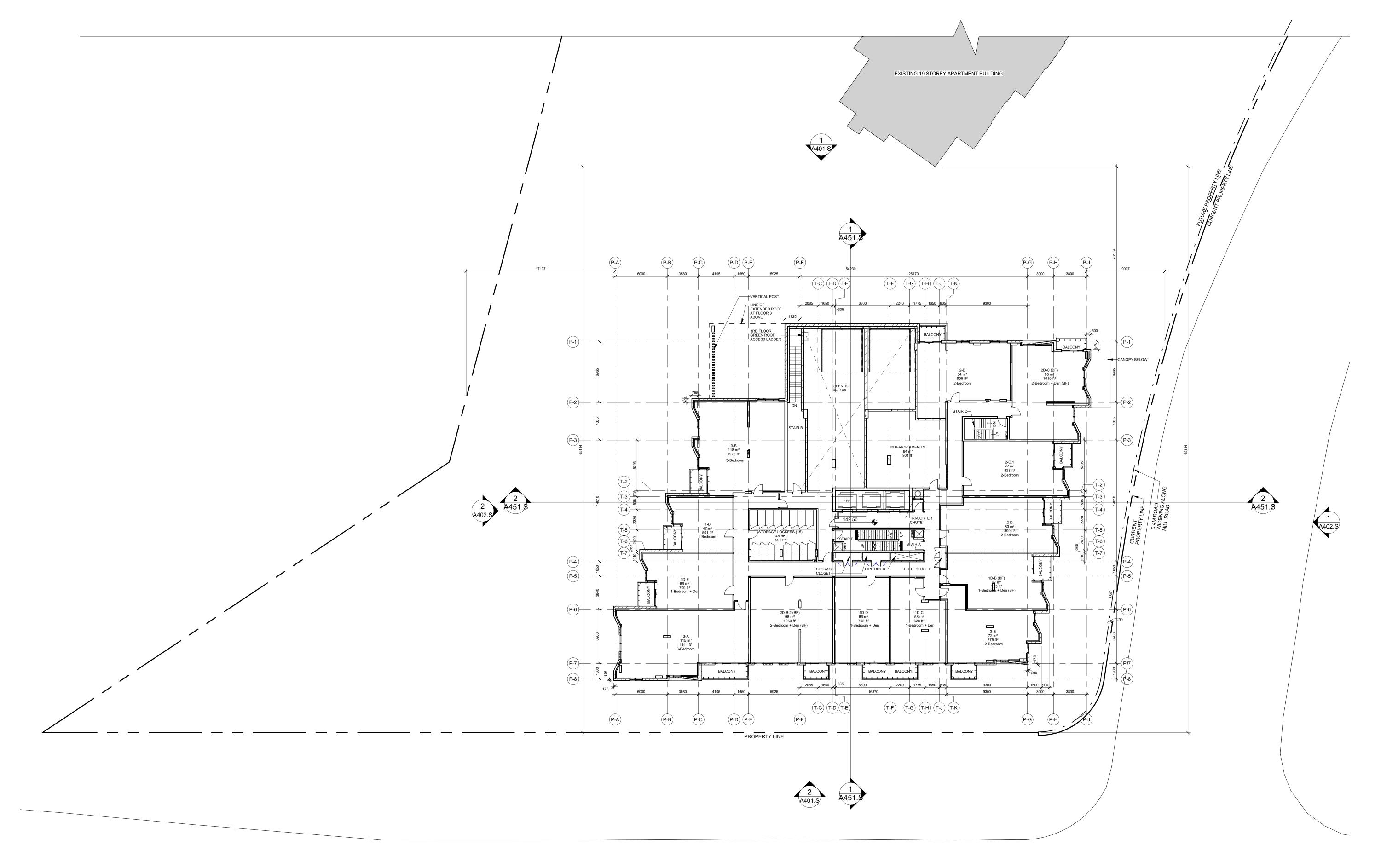
BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE DRAWN REVIEW DRAWN REVIEWED

EXISTING UNDERGROUND PARKING LEVEL P1

A155.S





Plan of Floor 2
A202.S SCALE: 1:200

Date No. Description
REVISION RECORD

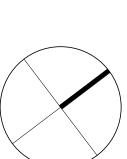
2021-12-14 Site Plan Control Application Resubmission

Resubmission

2021-02-01 Site Plan Control Application

2020-08-12 Rezoning Application Resubmission

2019-05-17 Rezoning Application



ISSUERECORD



# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

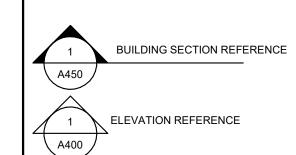
Etobicoke, ON M9C 4Y9

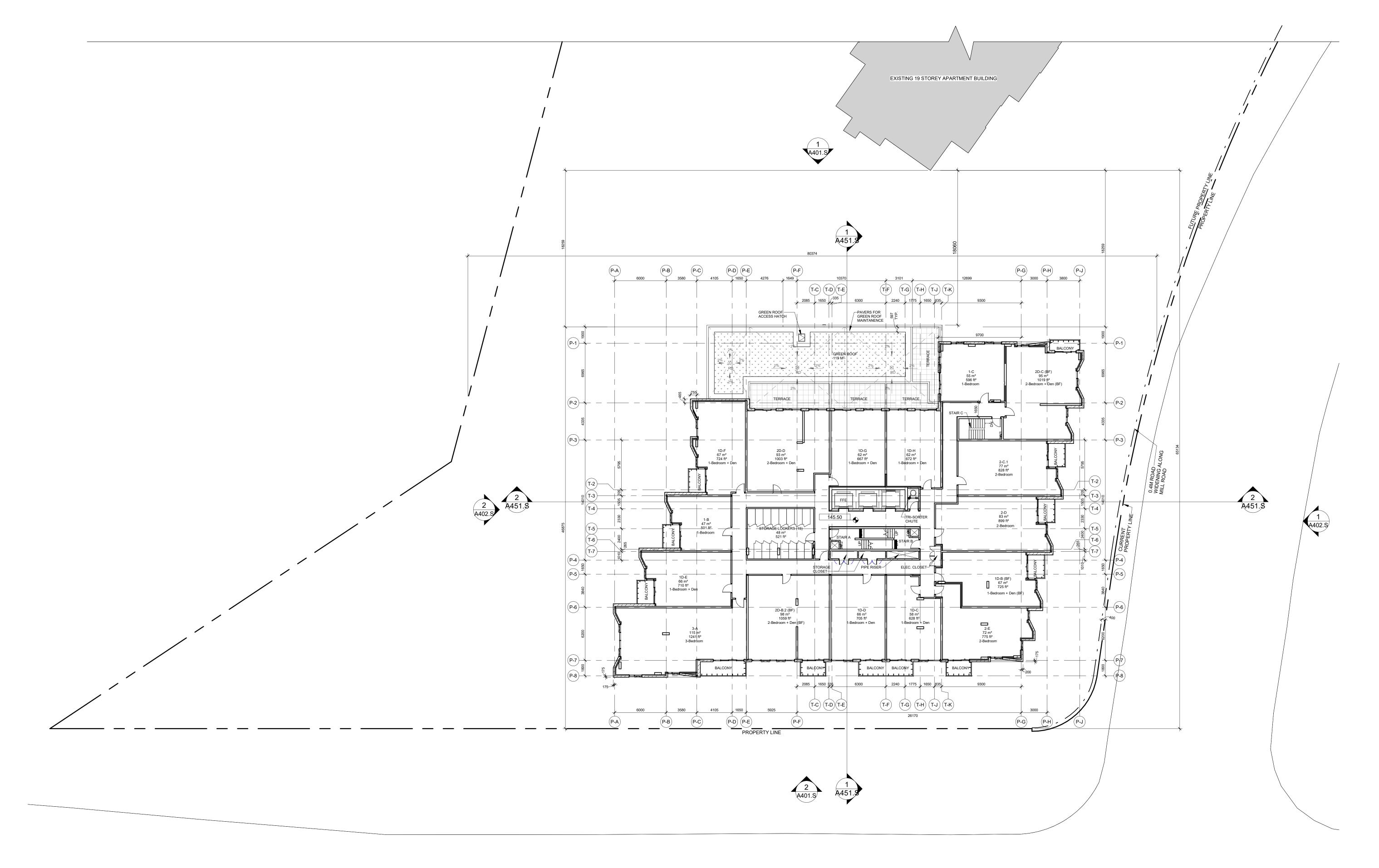
BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE DRAWN REVIEW

PLAN OF FLOOR 2

A202.S





Plan of Floor 3
A203.S SCALE: 1:200

Date No. Description

REVISION RECORD

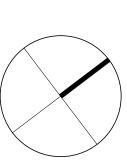
2021-12-14 Site Plan Control Application Resubmission

Resubmission

2021-02-01 Site Plan Control Application

2020-08-12 Rezoning Application Resubmission

2019-05-17 Rezoning Application



ISSUERECORD



# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

Etobicoke, ON M9C 4Y9

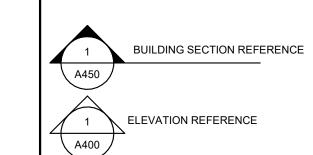
for BMR Title Corp.

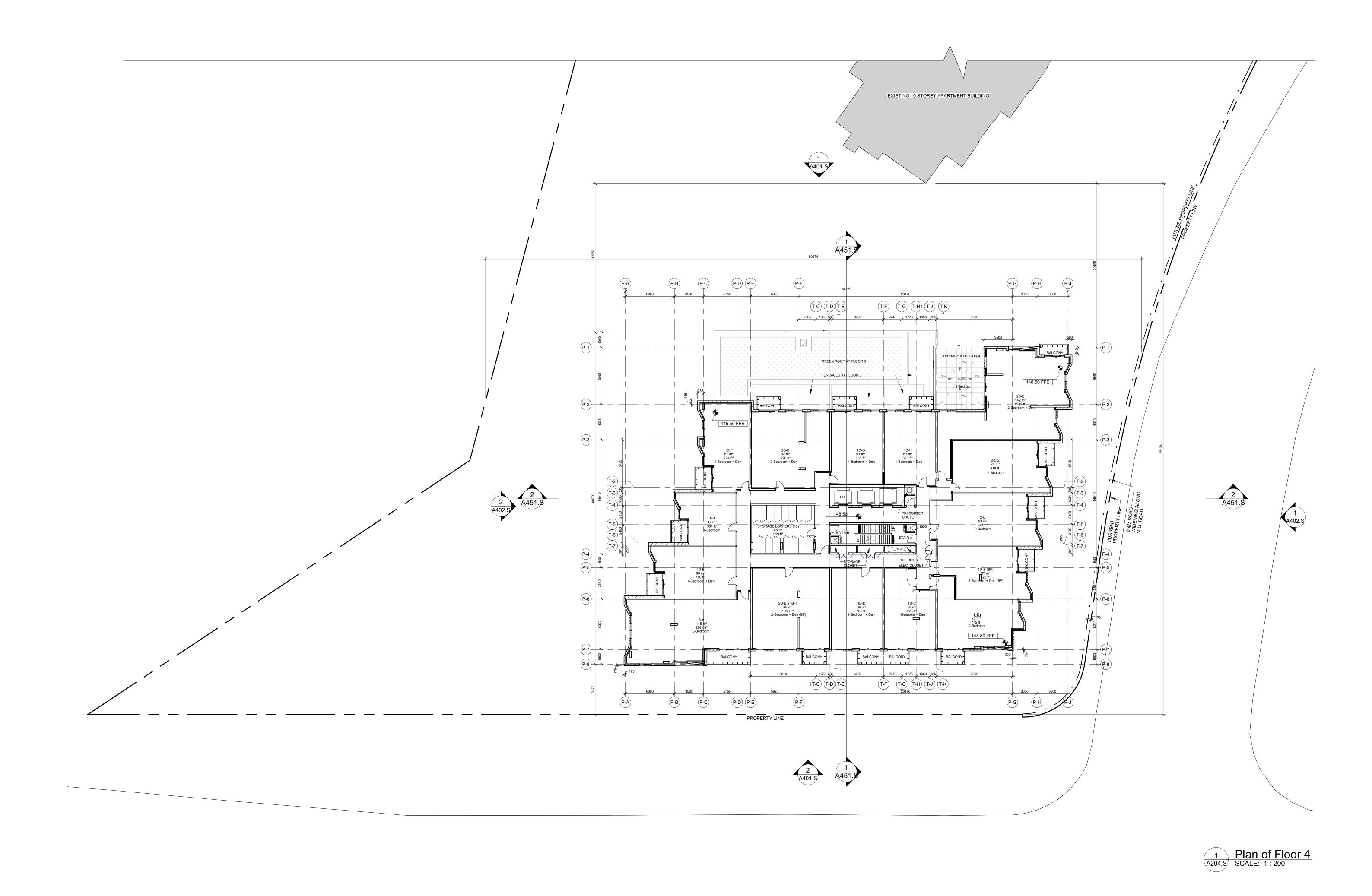
16019 As indicated PN HT PROJECT SCALE DRAWN REVIEW

PLAN OF FLOOR 3

A203.S

that the offence continues. RNFP 0608



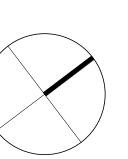


Date No. Description

2021-12-14 Site Plan Control Application Resubmission
2021-02-01 Site Plan Control Application

2020-08-12 Rezoning Application Resubmission
2019-05-17 Rezoning Application

ISSUERECORD





# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

Etobicoke, ON M9C 4Y9

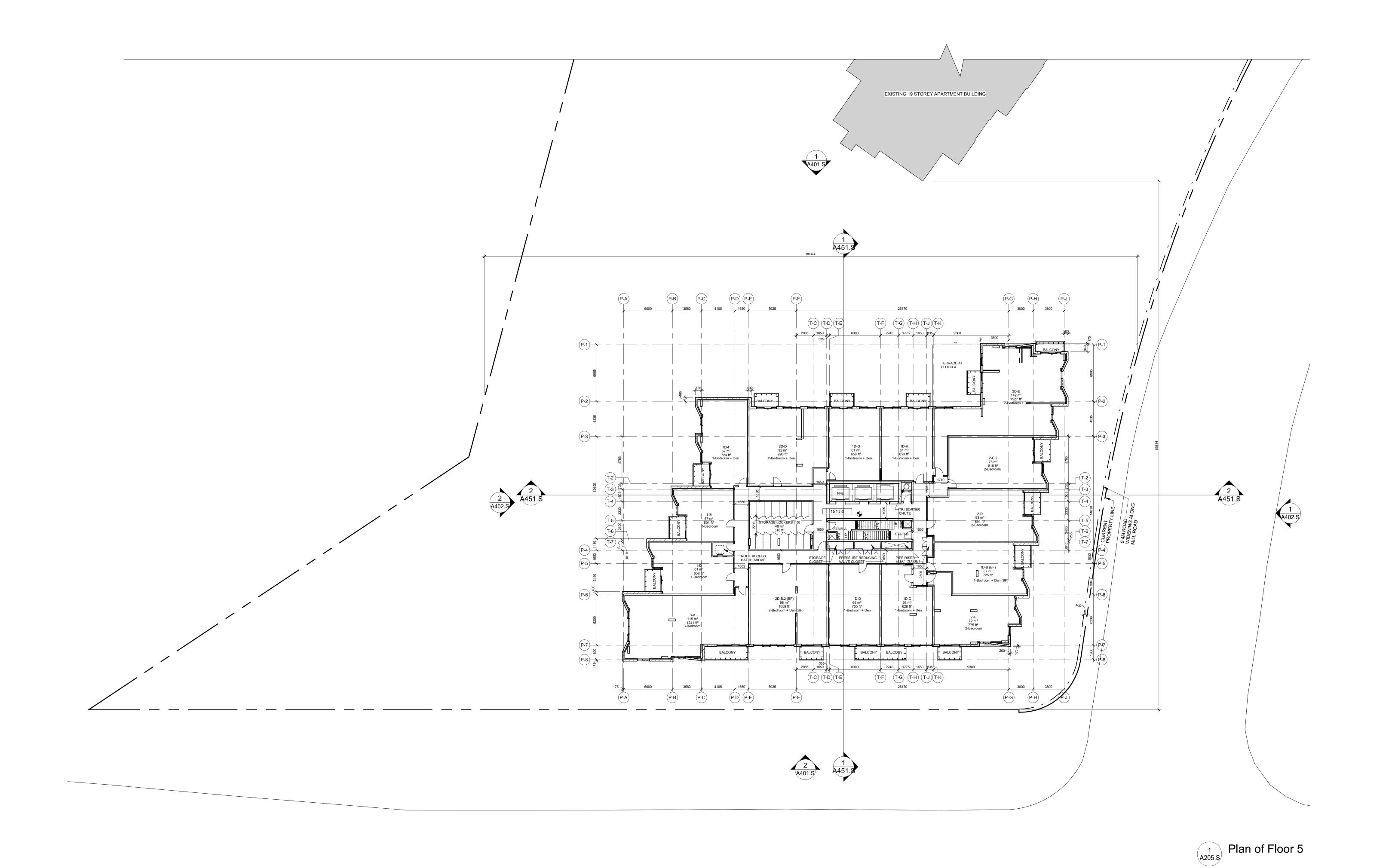
BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE DRAWN REVIEW

PLAN OF FLOOR 4

A204.S

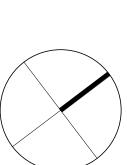
that the offence continues. RNFP 0608



Date No. Description

REVISION RECORD

2021-12-14 Site Plan Control Application
Resubmission
2021-02-01 Site Plan Control Application
ISSUERECORD





# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

Etobicoke, ON M9C 4Y9

BMR Title Corp.

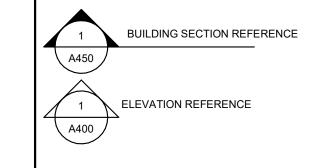
16019 As Indicated PN HT PROJECT SCALE DRAWN REVIEW

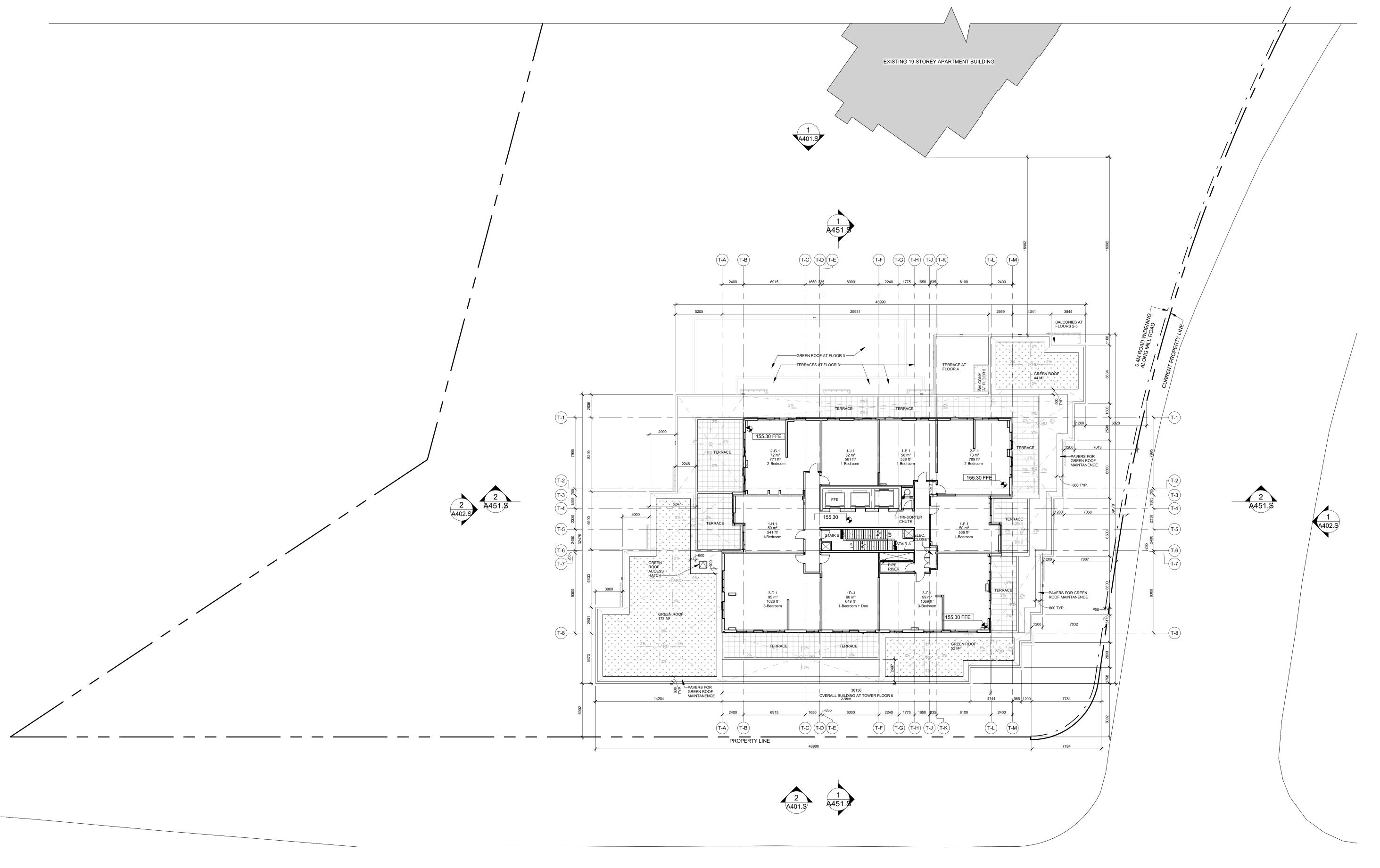
PLAN OF FLOOR 5

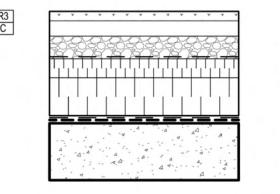
A205.S

Ravine & Natural Feature Protection By-law Schedule A. Under this by-law protected trees may not be removed, injured or on behalf of the General Manager of Parks, Forestry & Recreation. Natural Feature Protection By-law are subject to fines, and the failure to comply with ravine permit conditions is liable to a

The Ravine & Natural Feature Protection By-law, Chapter 658 of the City of Toronto Municipal Code regulates the injury and destruction of trees, dumping of refuse and changes to grade within protected areas defined in destroyed, and protected grades may not be altered, without written authorisation from Urban Forestry Ravine & Natural Feature Protection, Convictions of offences respecting the regulations in the Ravine & landowner may be ordered by the court to restore the area to the satisfaction of the City. A person convicted of an offence under this By-law is liable to a minimum fine of \$500 and a maximum fine of \$100,000 for each tree destroyed, a maximum fine of \$100,000 for any other offence committed under this chapter, and/or a Special fine of \$100,000. A person convicted of a continuing offence, including maximum fine of not more than \$10,000 for each day or part of a day that the offence continues. RNFP 0608







Insulated Inverted Roof at Vegetated Landscape Assembly on Concrete Slab (Vegetated landscape assembly) Filter fabric 50mm Rigid roof insulation (RSI=1.74) 100mm Rigid roof insulation (RSI=3.48) (staggered joints) Root barrier membrane Roofing membrane system
Cast-in-place concrete slab sloped to drains (min 150mm thick)

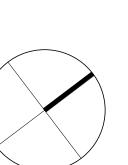
Note: Provide min 300mm clear vegetation-free zone around drains and 500mm along roof Thickness = Varies RSI = 5.22 FRR = 2 HR

VR 2020 GREEN ROOF SYSTEM BY VITAROOFS (OR APPROVED ALTERNATE): -PMRA BUILD UP SYSTEM HEIGHT: 63.5 MM -WATER RETENTION CAPACITY: 8L/M2 (0.18 GAL/FT2)

Green Roof Statistics				
Available Roof Space Calculation				
Gross Floor Area, as defined in Green Roof Bylaw (sm)		20,439.0		
otal Roof Area (sm)		1,477.0		
Area of Residential Private Terraces (sm)		406		
Rooftop Outdoor Amenity Space, if in Residential Building (sm)		0		
Area of Renewable Energy Devices (sm)		0		
Tower(s) Roof Area with floor plate less than 750sm		346		
otal Available Roof Space (sm)		725.0		
Green Roof Coverage	Required	Proposed		
Coverage of Available Roof Space (sm)	362.5	387		
Coverage of Available Roof Space (%)	50	53		

No. Description REVISION RECORD

2021-12-14 Site Plan Control Application Resubmission 2021-02-01 Site Plan Control Application 2020-08-12 Rezoning Application Resubmission 2019-05-17 Rezoning Application



ISSUERECORD



# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

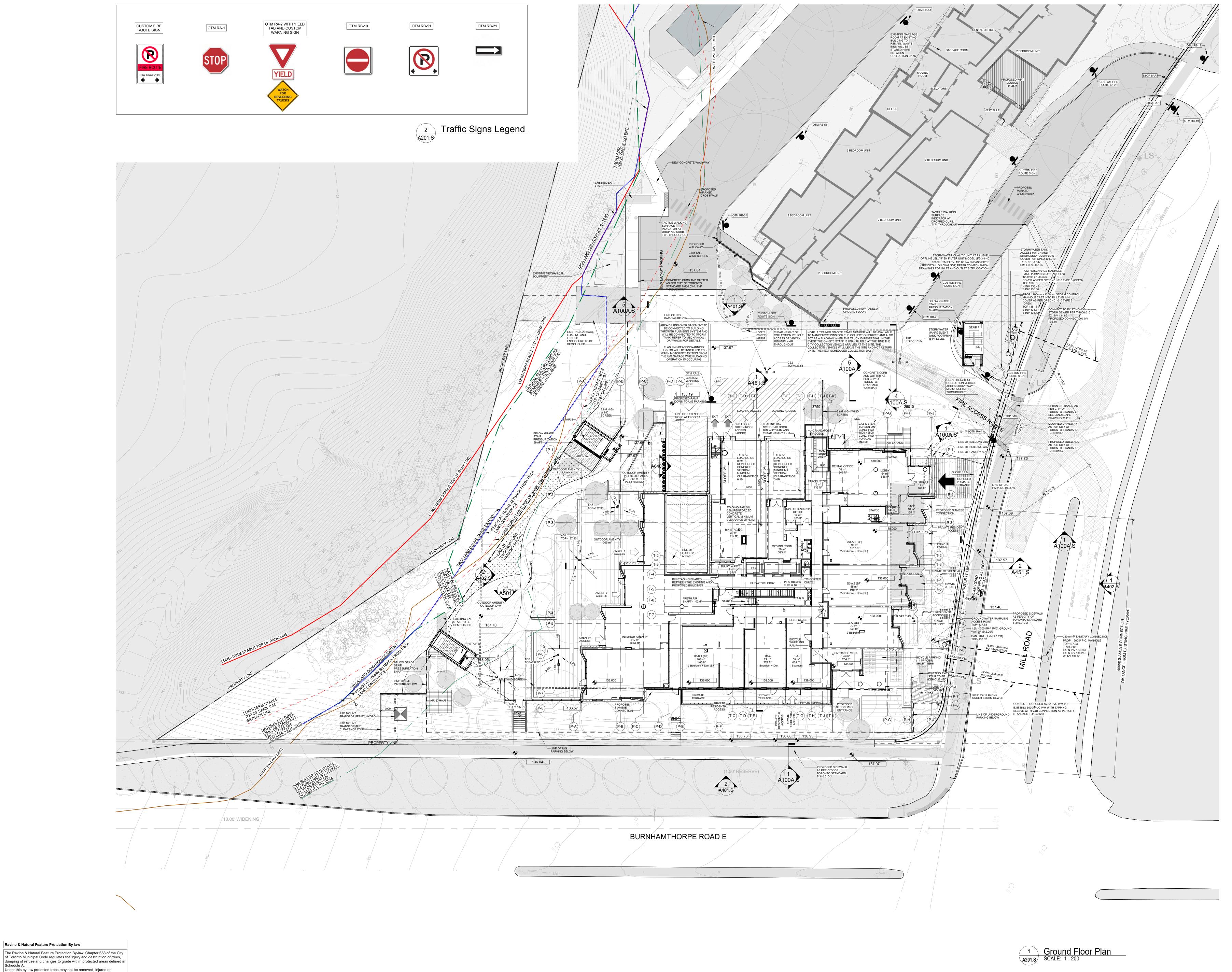
Etobicoke, ON M9C 4Y9

BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE

PLAN OF FLOOR 6

A206.S



Ravine & Natural Feature Protection By-law

that the offence continues. RNFP 0608

destroyed, and protected grades may not be altered, without written authorisation from Urban Forestry Ravine & Natural Feature Protection, on behalf of the General Manager of Parks, Forestry & Recreation.

Convictions of offences respecting the regulations in the Ravine & Natural Feature Protection By-law are subject to fines, and the landowner may be ordered by the court to restore the area to the satisfaction of the City. A person convicted of an offence under this By-law is liable to a minimum fine of \$500 and a maximum fine of \$100,000 for each tree destroyed, a maximum fine of \$100,000 for any

other offence committed under this chapter, and/or a Special fine of \$100,000. A person convicted of a continuing offence, including failure to comply with ravine permit conditions is liable to a maximum fine of not more than \$10,000 for each day or part of a day SITE PLAN LEGEND

\_\_ \_ \_ \_ LINE OF UNDERGROUND GARAGE BELOW NATURAL FEATURES LIMIT LINE NATURAL FEATURES LIMIT 10M BUFFER LINE

LONG-TERM STABLE TOP OF

- PROPERTY LINE

BANK LINE LONG-TERM STABLE TOP OF — — — — BANK 10M SETBACK LINE TRCA LAND CONVEYANCE EXTENT (BLUE) AND 100MM OFFSET FENCÉ (DASHED) RNFP BY-LAW LIMIT

> PRIMARY BUILDING ENTRANCE SECONDARY ENTRANCE

VEHICLE / LOADING

ENTRANCE / EXIT FIRE HYDRANT

SIAMESE CONNECTION MANHOLE COVER AREA DRAIN CATCH BASIN

**EXISTING LIGHT** FINISH FLOOR POLE LIGHT

LANDSCAPE) WALL MOUNTED WALL MOUNT SIGN

POST MOUNT SIGN EXISTING TO REMAIN CONVEX MIRROR RENOVATIONS

BUILDING SECTION REFERENCE 1 ELEVATION REFERENCE

No. Description REVISION RECORD

2022-10-25 | Site Plan Control Application

2022-06-24 Issued for Bid

2021-12-14 Site Plan Control Application

2021-02-01 Site Plan Control Application 2020-08-12 Rezoning Application Resubmission 2019-05-17 Rezoning Application

ISSUE RECORD





Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

330 MILL ROAD

Etobicoke, ON M9C 4Y9

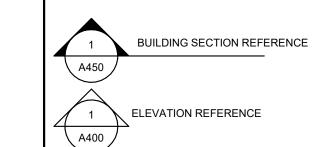
BMR Title Corp.

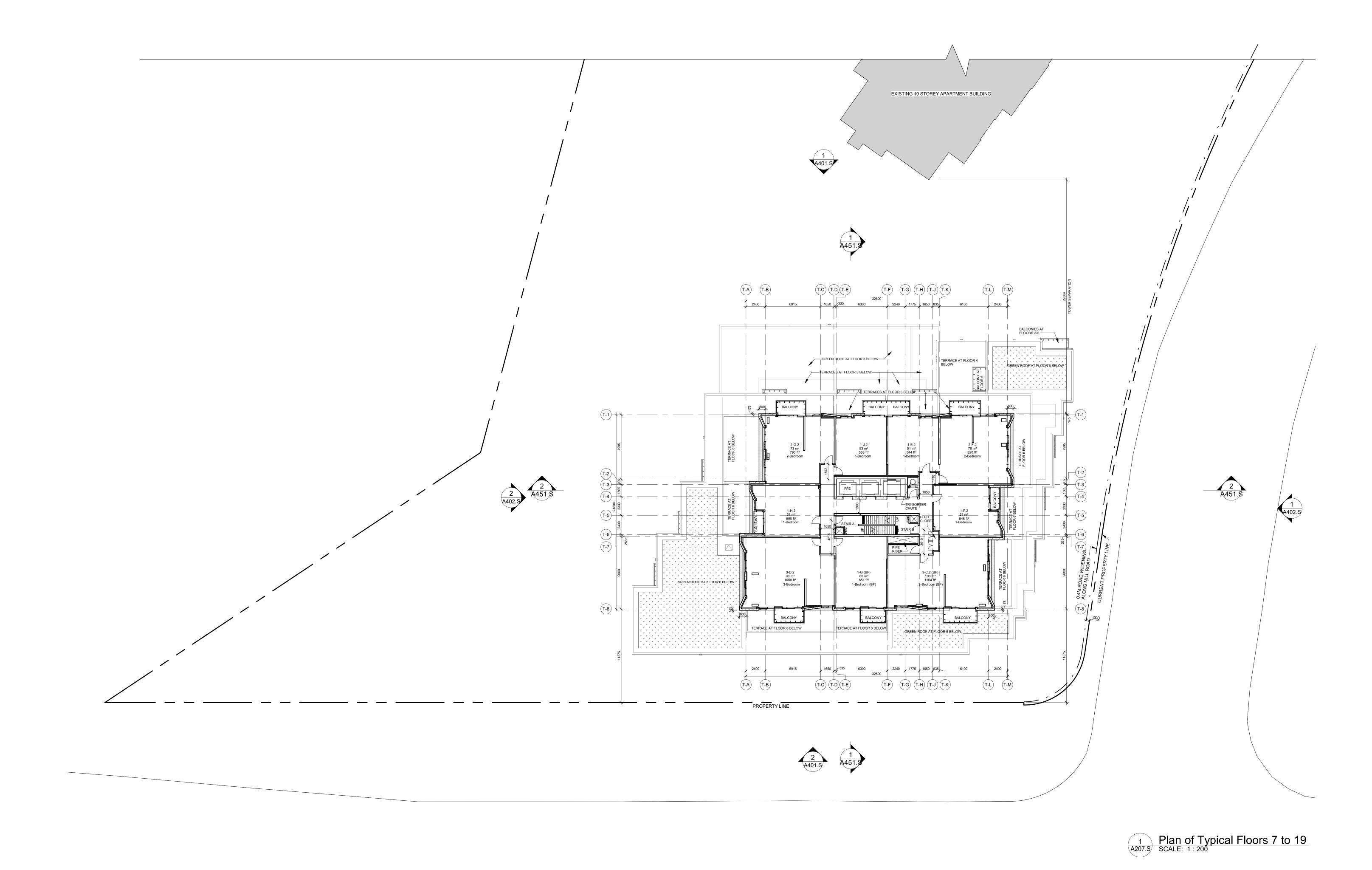
16019 As indicated PN HT PROJECT SCALE

GROUND FLOOR PLAN

A201.S

that the offence continues. RNFP 0608

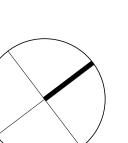




Date No. Description

2021-12-14 Site Plan Control Application
Resubmission

2021-02-01 Site Plan Control Application
2020-08-12 Rezoning Application Resubmission
2019-05-17 Rezoning Application



ISSUERECORD



# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

Etobicoke, ON M9C 4Y9

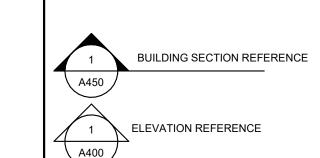
| for | BMR Title Corp.

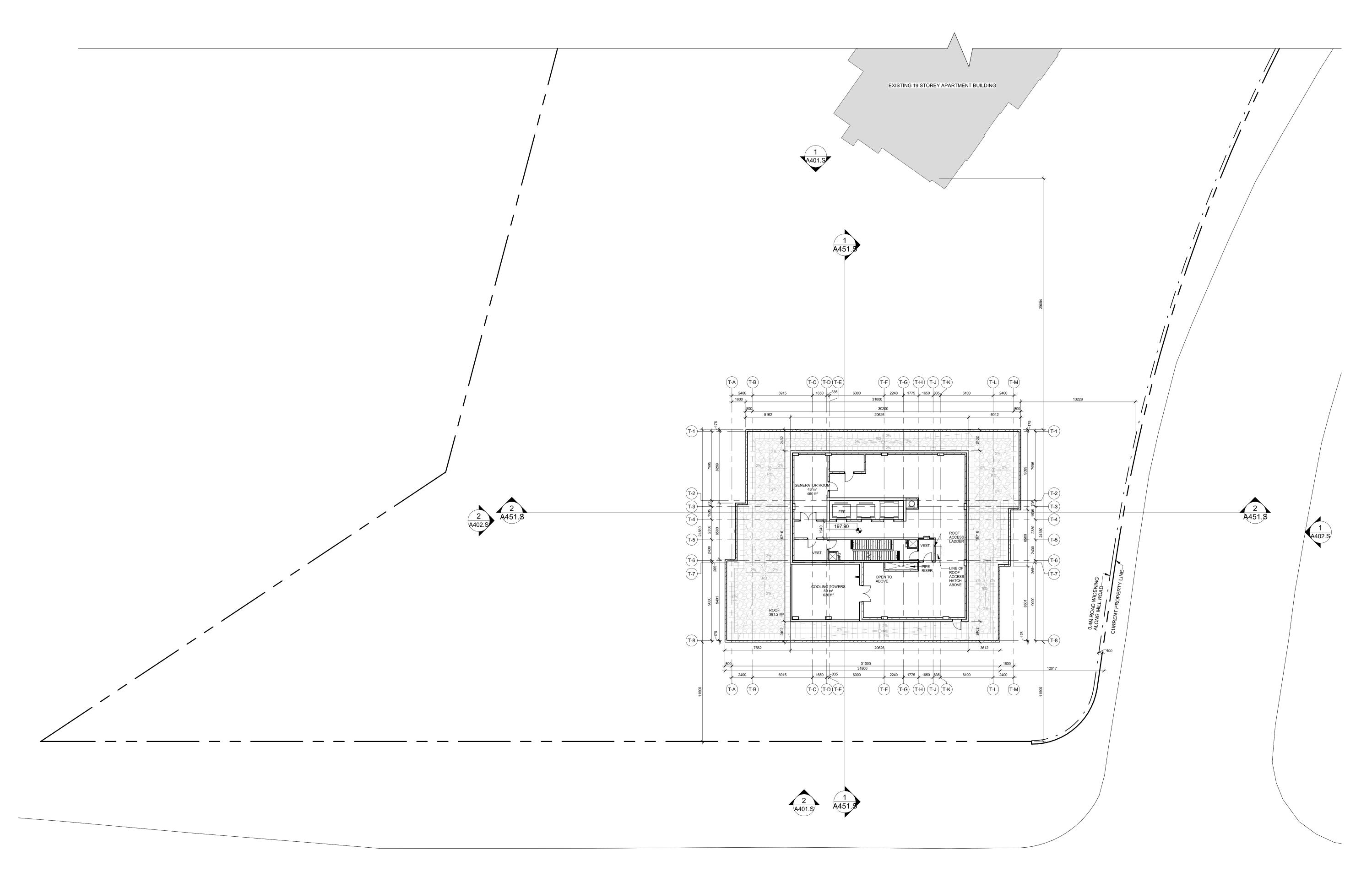
16019 As indicated PN HT PROJECT SCALE DRAWN REVIEW

PLAN OF TYPICAL FLOORS 7 TO 19

A207.S

that the offence continues. RNFP 0608

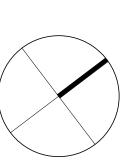




Plan of Mechanical Penthouse Floor
SCALE: 1:200

Date No. Description

2021-12-14 Site Plan Control Application
Resubmission
2021-02-01 Site Plan Control Application
ISSUERECORD





# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

Etobicoke, ON M9C 4Y9

BMR Title Corp.

16019 As Indicated PN HT
PROJECT SCALE DRAWN REVIEWED

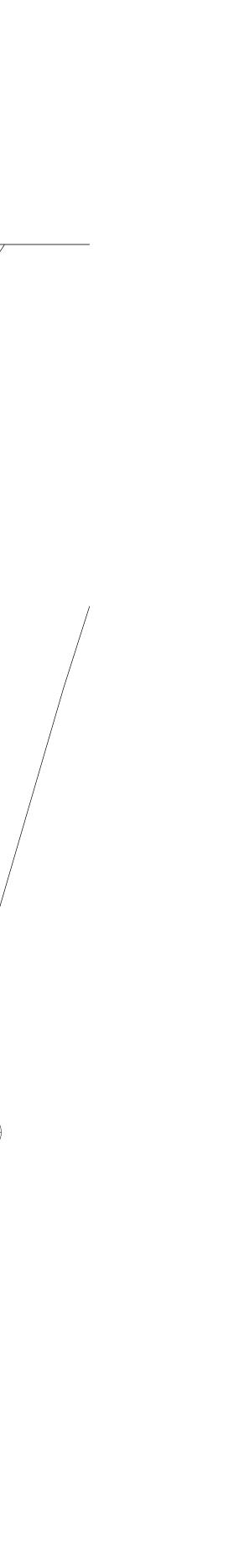
PLAN OF MECHANICAL PENTHOUSE FLOOR

A208.S

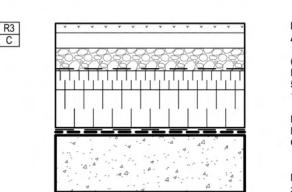
maximum fine of not more than \$10,000 for each day or part of a day that the offence continues. RNFP 0608

**BUILDING SECTION REFERENCE** 

ELEVATION REFERENCE







2 A401.S 1 A451.9

Insulated Inverted Roof at Vegetated Landscape Assembly on Concrete Slab (Vegetated landscape assembly) Filter fabric
50mm Rigid roof insulation (RSI=1.74)
100mm Rigid roof insulation (RSI=3.48)
(staggered joints)
Root barrier membrane

Roofing membrane system
Cast-in-place concrete slab sloped to
drains (min 150mm thick) Note: Provide min 300mm clear vegetation-free zone around drains and 500mm along roof

Thickness = Varies RSI = 5.22 FRR = 2 HR

EXISTING 19 STOREY APARTMENT BUILDING

BALCONIES AT FLOORS 2-5

44085

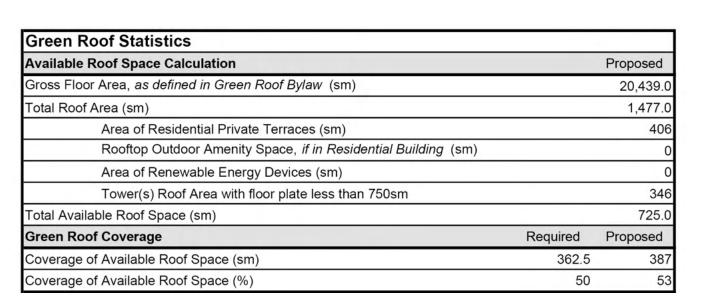
OVERALL BUILDING AT PODIUM®

146.60 T.O. PARAPET AT FLOOR 3

T.O. PARAPET AT FLOOR 6

155.30
AT FLOOR 6

VR 2020 GREEN ROOF SYSTEM BY VITAROOFS OR APPROVED ALTERNATE. -PMRA BUILD-UP SYSTEM HEIGHT 63.5MM -WATER RETENTION CAPACITY 8L/M2 (0.19 GAL/FT2)

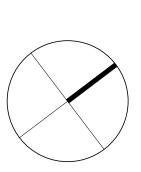


2021-12-14 Site Plan Control Application
Resubmission
2021-02-01 Site Plan Control Application

No. Description

REVISION RECORD

2020-08-12 Rezoning Application Resubmission
2019-05-17 Rezoning Application ISSUERECORD





ARCHITECTS

ANNA C. MADEIRA
LICENCE
5675

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

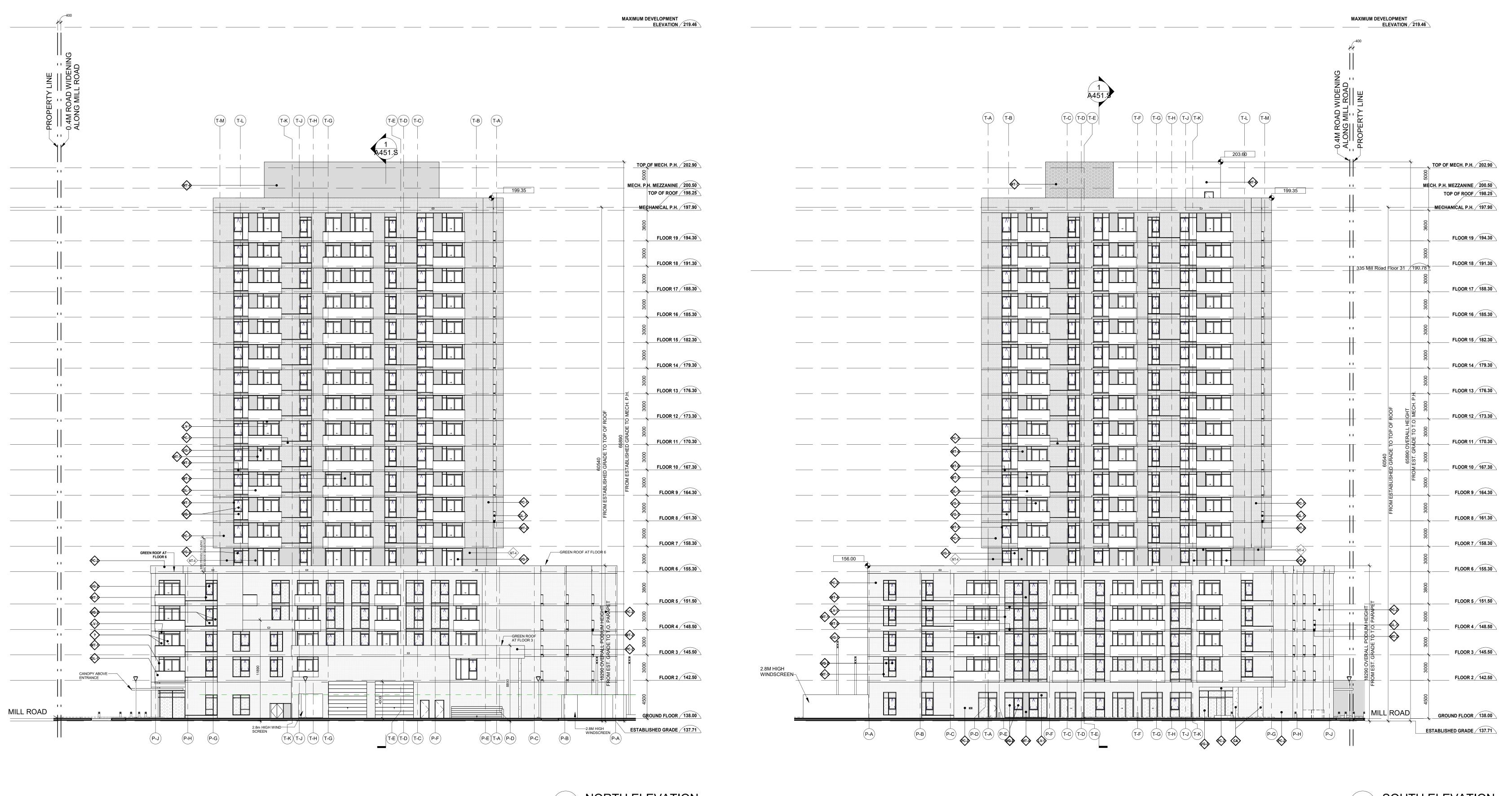
Etobicoke, ON M9C 4Y9

BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE

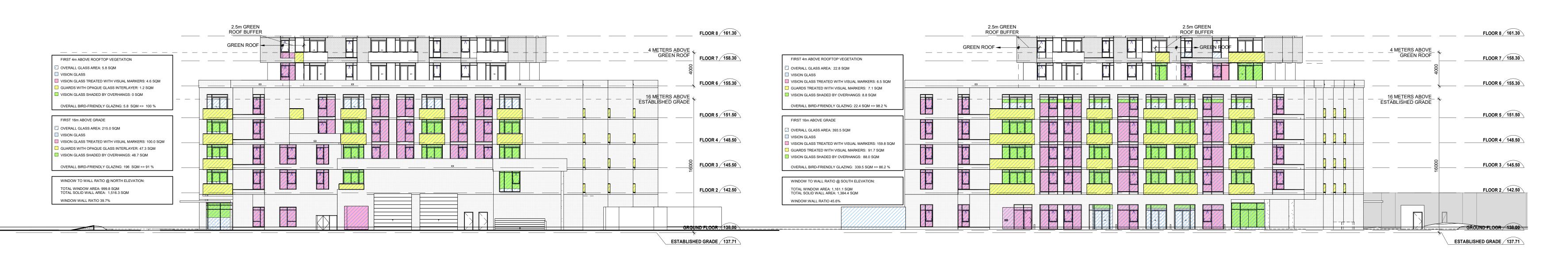
ROOF PLAN

A209.S



1 NORTH ELEVATION
A401.S SCALE: 1:200

2 SOUTH ELEVATION A401.S SCALE: 1:200



BIRD-FRIENDLY GLAZING CALCULATIONS - NORTH ELEVATION

BIRD-FRIENDLY GLAZING CALCULATIONS - SOUTH ELEVATION

A401.S

## LEGEND:

ARCHITECTURALLY EXPOSED CONCRETE REFER TO STRUCT SPECIFICATIONS FOR
ADDITIONAL REQUIREMENTS

GLASS GUARD - HEAT-STRENGTHENED
LAMINATED GLASS WITH COLOUR INTERLAYER

MECHANICAL LOUVRE WITH MT-1 (GRAPHITE
GREY) FINISH

MECHANICAL LOUVRE WITH MT-2 (ANTIQUE
BRONZE) FINISH

DOUBLE GLAZED ALUMINUM WINDOW SYSTEM - GRAPHITE GREY

ALUMINUM PLATE - ANTIQUE BRONZE

WINDOW SYSTEM METAL SPANDREL PANEL GRAPHITE GREY

WINDOW SYSTEM METAL SPANDREL PANEL ANTIQUE BRONZE

TOP HAT PANEL AS PART OF WINDOW WALL

SYSTEM - ANTIQUE BRONZE

ALUMINUM RAINSCREEN CLADDING SYSTEM - ANTIQUE BRONZE

MT-7

PERFORATED METAL PANEL - ANTIQUE BRONZE

BRICK EMBEDDED IN PRECAST - DARK GREY

PC-2

BRICK EMBEDDED IN PRECAST - WHITE

WINDOW SYSTEM - VISION GLASS

WINDOW SYSTEM - VISION GLASS WITH BIRDFRIENDLY FRIT PATTERN

CURTAIN WALL - VISION GLASS WITH BIRD-FRIENDLY FRIT PATTERN

NOTE:
VISION GLASS WITH CUSTOM FRIT PATTERN TO MEET BIRD FRIENDLY REQUIREMENT.

FRIENDLY REQUIREMENT.
EC 4.1 85% OF EXTERIOR GUARDRAILS AND GLAZING OF THE FIRST 16M ABOVE GRADE TO BE TREATED WITH VISUAL MARKERS WITH A SPACE NO GREATER THAN 50MM X 50MM.
EC 4.2 GLAZING 4M ABOVE ROOFTOP VEGETATION TO BE TREATED WITH VISUAL MARKERS WITH A SPACE NO GREATER THAN 50MM X 50MM.

REVISION RECORD

No. Description

2021-12-14 Site Plan Control Application
Resubmission
2021-02-01 Site Plan Control Application
2020-08-12 Rezoning Application Resubmission

2019-05-17 Rezoning Application

ISSUERECORD



## BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

Etobicoke, ON M9C 4Y9

BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE DRAWN REVIEWED

BUILDING NORTH AND SOUTH ELEVATIONS

A401.S



2.5m GREEN
ROOF BUFFER
GREEN ROOF
GREEN ROOF
GREEN ROOF
GREEN ROOF
GREEN ROOF
FLOOR 8 161.30
FLOOR 8 161.30 FIRST 4m ABOVE ROOFTOP VEGETATION FLOOR 7 / 158.30 OVERALL GLASS AREA: 3.9 SQM VISION GLASS VISION GLASS TREATED WITH VISUAL MARKERS: 0.6 SQM FLOOR 6 155.30 GUARDS TREATED WITH VISUAL MARKERS: 3.2 SQM VISION GLASS SHADED BY OVERHANGS: 0 SQM \_\_\_\_16 METERS ABOVE . ESTABLISHED GRADE OVERALL BIRD-FRIENDLY GLAZING: 3.8 SQM => 97.4 % FLOOR 5 151.50 FIRST 16m ABOVE GRADE OVERALL GLASS AREA: 260.4 SQM VISION GLASS FLOOR 4 148.50 VISION GLASS TREATED WITH VISUAL MARKERS: 114.6 SQM GUARDS TREATED WITH VISUAL MARKERS: 47.8 SQM VISION GLASS SHADED BY OVERHANGS: 63.4 SQM OVERALL BIRD-FRIENDLY GLAZING: 225.8 SQM => 86.7 % FLOOR 3 145.50 WINDOW TO WALL RATIO @ EAST ELEVATION: TOTAL WINDOW AREA: 812.7 SQM TOTAL SOLID WALL AREA: 1051.4 SQM FLOOR 2 142.50 WINDOW:WALL RATIO 43.6% ESTABLISHED GRADE 137.71

ROOF BUFFER A SRENROF A TOTAL A SPENROF A \_\_4 METERS ABOVE \_ GREEN ROOF FIRST 4m ABOVE ROOFTOP VEGETATION FLOOR 7 / 158.30 OVERALL GLASS AREA: 28.6 SQM VISION GLASS VISION GLASS TREATED WITH VISUAL MARKERS: 6.9 SQM FLOOR 6 155.30 GUARDS TREATED WITH VISUAL MARKERS: 5.9 SQM ☐ VISION GLASS SHADED BY OVERHANGS: 12.8 SQM \_\_\_\_16 METERS ABOVE \_\_ ESTABLISHED GRADE OVERALL BIRD-FRIENDLY GLAZING: 25.6 SQM => 89.5 % FLOOR 5 151.50 FIRST 16m ABOVE GRADE OVERALL GLASS AREA: 237.7 SQM VISION GLASS ☐ VISION GLASS TREATED WITH VISUAL MARKERS: 131.6 SQM FLOOR 4 148.50 GUARDS TREATED WITH VISUAL MARKERS: 37.7 SQM ☐ VISION GLASS SHADED BY OVERHANGS: 38.2 SQM FLOOR 3 145.50 OVERALL BIRD-FRIENDLY GLAZING: 207.5 SQM => 87.3 % WINDOW TO WALL RATIO @ WEST ELEVATION: TOTAL WINDOW AREA: 858.6 SQM TOTAL SOLID WALL AREA: 990.4 SQM FLOOR 2 142.50 WINDOW:WALL RATIO 46.4% WINDSCREEN BURNHAMTHORPE ROAD ESTABLISHED GRADE / 137.71

BIRD-FRIENDLY GLAZING CALCULATIONS - EAST ELEVATION

A402.S

BIRD-FRIENDLY GLAZING CALCULATIONS - WEST ELEVATION

## LEGEND:

TOP OF MECH. P.H. 202.90

TOP OF ROOF / 198.25

FLOOR 19 / 194.30

FLOOR 16 185.30

FLOOR 15 / 182.30

FLOOR 14 / 179.30

FLOOR 13 / 176.30

FLOOR 11 / 170.30

FLOOR 10 167.30

FLOOR 9 164.30

FLOOR 8 161.30

FLOOR 7 158.30

FLOOR 6 155.30

FLOOR 5 151.50

FLOOR 4 148.50

FLOOR 3 145.50

FLOOR 2 142.50

GROUND FLOOR 138.00

ESTABLISHED GRADE 137.71

MECHANICAL P.H. / 197.90

MECH. P.H. MEZZANINE 200.50

ARCHITECTURALLY EXPOSED CONCRETE - REFER TO STRUCT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS GLASS GUARD - HEAT-STRENGTHENED LAMINATED GLASS WITH COLOUR INTERLAYER MECHANICAL LOUVRE WITH MT-1 (GRAPHITE GREY) FINISH MECHANICAL LOUVRE WITH MT-2 (ANTIQUE

BRONZE) FINISH DOUBLE GLAZED ALUMINUM WINDOW SYSTEM - GRAPHITE GREY

ALUMINUM PLATE - ANTIQUE BRONZE WINDOW SYSTEM METAL SPANDREL PANEL -**GRAPHITE GREY** WINDOW SYSTEM METAL SPANDREL PANEL -

ANTIQUE BRONZE

TOP HAT PANEL AS PART OF WINDOW WALL SYSTEM - ANTIQUE BRONZE ALUMINUM RAINSCREEN CLADDING SYSTEM -ANTIQUE BRONZE

PERFORATED METAL PANEL - ANTIQUE BRONZE BRICK EMBEDDED IN PRECAST - DARK GREY

BRICK EMBEDDED IN PRECAST - WHITE WINDOW SYSTEM - VISION GLASS

WINDOW SYSTEM - VISION GLASS WITH BIRD-FRIENDLY FRIT PATTERN CURTAIN WALL - VISION GLASS WITH BIRD-FRIENDLY FRIT PATTERN

VISION GLASS WITH CUSTOM FRIT PATTERN TO MEET BIRD FRIENDLY REQUIREMENT. EC 4.1 85% OF EXTERIOR GUARDRAILS AND GLAZING OF THE FIRST 16M ABOVE GRADE TO BE TREATED WITH VISUAL MARKERS WITH A SPACE NO GREATER THAN 50MM X 50MM. EC 4.2 GLAZING 4M ABOVE ROOFTOP VEGETATION TO BE TREATED WITH VISUAL MARKERS WITH A SPACE NO GREATER

No. Description REVISION RECORD

2021-12-14 | Site Plan Control Application

2021-02-01 Site Plan Control Application 2020-08-12 Rezoning Application Resubmission 2019-05-17 Rezoning Application ISSUE RECORD



# BDP. Quadrangle

**Quadrangle Architects Limited** 901 King Street West, Suite 701 Toronto, ON M5V 3H5 t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

Etobicoke, ON M9C 4Y9

BMR Title Corp.

16019 As indicated PN HT PROJECT SCALE

BUILDING EAST AND WEST ELEVATIONS

A402.S



ARCHITECTURALLY EXPOSED CONCRETE -REFER TO STRUCT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS GLASS GUARD - HEAT-STRENGTHENED LAMINATED GLASS WITH COLOUR INTERLAYER MECHANICAL LOUVRE WITH MT-1 (GRAPHITE GREY) FINISH MECHANICAL LOUVRE WITH MT-2 (ANTIQUE BRONZE) FINISH

DOUBLE GLAZED ALUMINUM WINDOW SYSTEM - GRAPHITE GREY

ALUMINUM PLATE - ANTIQUE BRONZE WINDOW SYSTEM METAL SPANDREL PANEL -**GRAPHITE GREY** WINDOW SYSTEM METAL SPANDREL PANEL -ANTIQUE BRONZE

SYSTEM - ANTIQUE BRONZE ALUMINUM RAINSCREEN CLADDING SYSTEM - ANTIQUE BRONZE PERFORATED METAL PANEL - ANTIQUE BRONZE

TOP HAT PANEL AS PART OF WINDOW WALL

BRICK EMBEDDED IN PRECAST - DARK GREY BRICK EMBEDDED IN PRECAST - WHITE

WINDOW SYSTEM - VISION GLASS WINDOW SYSTEM - VISION GLASS WITH BIRD-FRIENDLY FRIT PATTERN

CURTAIN WALL - VISION GLASS WITH BIRD-FRIENDLY FRIT PATTERN

NOTE:
VISION GLASS WITH CUSTOM FRIT PATTERN TO MEET BIRD
FRIENDLY REQUIREMENT.
EC 4.1 85% OF EXTERIOR GUARDRAILS AND GLAZING OF THE
FIRST 16M ABOVE GRADE TO BE TREATED WITH VISUAL
MARKERS WITH A SPACE NO GREATER THAN 50MM X 50MM. EC 4.2 GLAZING 4M ABOVE ROOFTOP VEGETATION TO BE TREATED WITH VISUAL MARKERS WITH A SPACE NO GREATER THAN 50MM X 50MM.

No. Description REVISION RECORD

2021-12-14 Site Plan Control Application Resubmission 2021-02-01 Site Plan Control Application



# BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

Etobicoke, ON M9C 4Y9 BMR Title Corp.

16019 1:50 PROJECT SCALE

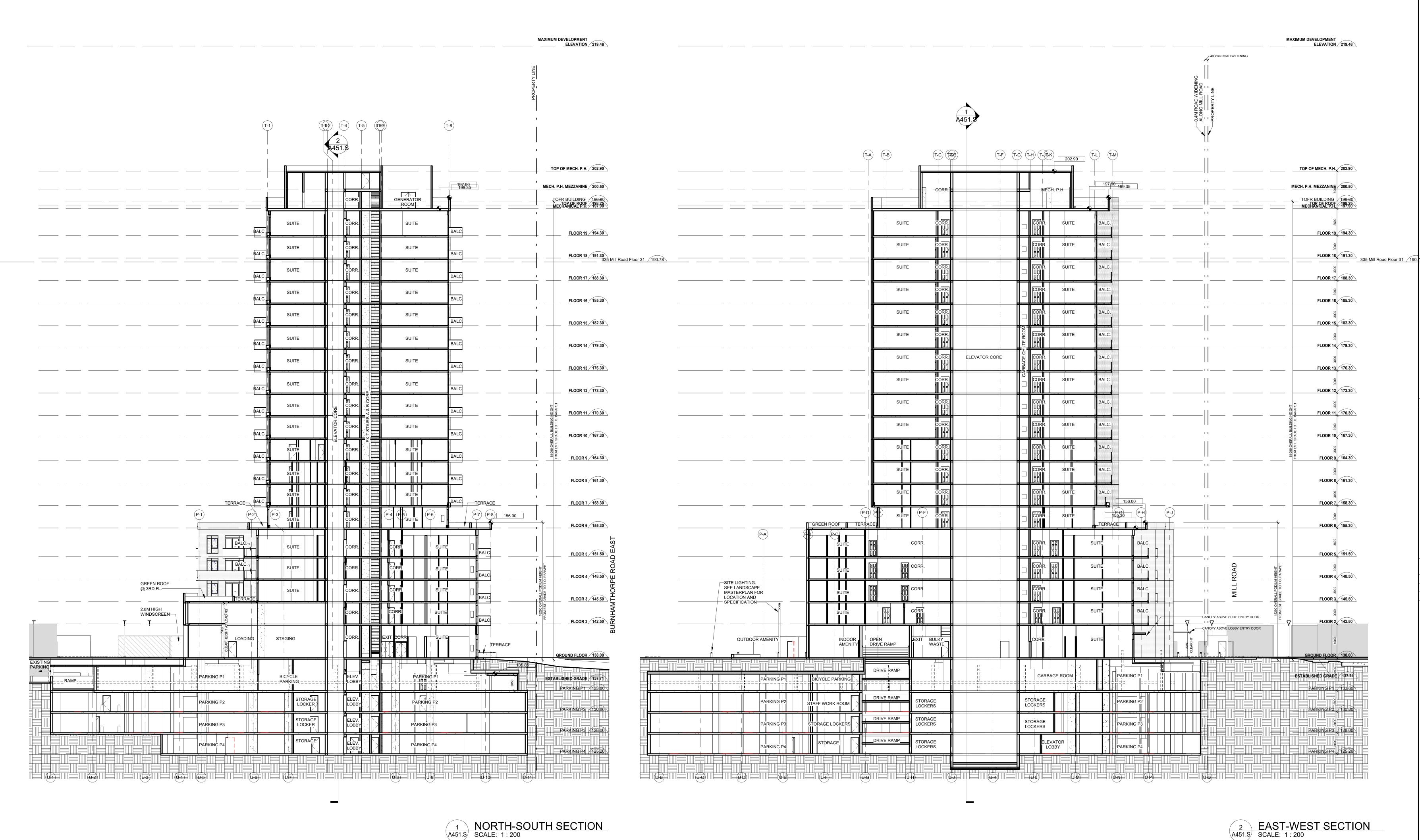
1 EAST ELEVATION
A403.S

1-50 COLOURED ELEVATION

PN HT

DRAWN REVIEWED

A403.S



Date No. Description

REVISION RECORD

2021-12-14 Site Plan Control Application Resubmission

2021-02-01 Site Plan Control Application
2020-08-12 Rezoning Application Resubmission
2019-05-17 Rezoning Application



## BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.bdpquadrangle.com

t 416 598 1240 www.bdpquadrangle.com

340 MILL ROAD

Etobicoke, ON M9C 4Y9

for

BMR Title Corp.

PROJECT SCALE

16019 As indicated PN HT

DRAWN REVIEWED

BUILDING SECTIONS

A451.S