

BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
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340 MILL ROAD

Etobicoke, ON M9C 4Y9

for
BMR Title Corp.

Project No. 16019
Date 2021-12-14
Issued for Site Plan Control Application Resubmission



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STRUCTURAL ENGINEER

Jablonsky, Ast & Partners

MECHANICAL & ELECTRICAL
ENGINEER

MCW

URBAN DESIGN &
LANDSCAPE ARCHITECT

NAK Design Group

TRAFFIC
CONSULTANT

WSP

SITE SERVICING
CONSULTANT

COUNTERPOINT

WIND CONSULTANT

RWDI



Toronto Green Standard Statistics template Version 3
Mid to High Rise Residential and all New Non-Residential Development

General Project Description	Proposed
Total Gross Floor Area (sm)	16,945.1
Breakdown of project components (sm):	
Residential	16,945.1
Retail	0
Commercial	0
Industrial	0
Institutional/other	0
Total number of residential units (new)	191

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Automobile Infrastructure	Required*	Proposed	Proposed %
Number of parking spaces	510	510	100%
Number of parking spaces dedicated for priority LEV parking	N/A	N/A	
Number of parking spaces with EVSE**	102	102	100%
Number of parking spaces EVSE ready***	408	408	100%

*Refer to the parking ratio proposed in the current TIS prepared by WSP

**20% EVSE applied total number of proposed parking spaces

***75% EVSE applied total number of proposed parking spaces

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (residential)	130	136	105%
Number of long-term bicycle parking spaces (all other uses)		N/A	
Number of long-term bicycle parking (all uses) located on:	130	136	105%
a) first storey of building	0	0	
b) second storey of building	0	0	
c) first level below-ground	130	136	
d) second level below-ground	0	0	
e) other levels below-ground	0	0	
Number of short-term bicycle parking spaces (residential)	14	14	100%
Number of short-term bicycle parking spaces (all other uses)	N/A	N/A	
Number of male shower and change facilities (non-residential)	N/A	N/A	
Number of female shower and change facilities (non-residential)	N/A	N/A	

Tree Planting & Soil Volume	Required	Proposed	Proposed %
Total Soil Volume Required (40% of the site area + 66sm x 30m³) *	2,477	1,132	45.7%

* NOTE: Proposed soil volume is for 47 proposed new deciduous trees. Existing deciduous trees within plot (45 trees) and within streetscape (6 trees) with their respective soil volumes will also contribute to the total soil volume for this project.

Section 2: For Site Plan Control Applications

Cycling Infrastructure	Required	Proposed	Proposed %
Number of short-term bicycle parking spaces (all uses) at-grade or on first level below grade	14	14	100%

UHI Non-roof Hardscape	Required	Proposed	Proposed %
Total non-roof hardscape area (sm)		1,643	
Total non-roof hardscape area treated for Urban Heat Island (minimum 50%) (sm)	50%	1,069	65.1%
Area of non-roof hardscape treated with: (indicate sm)			
a) high-albedo surface material		1,069	65.1%
b) open-grid pavement			
c) shade from tree canopy			
d) shade from high-albedo structures			
e) shade from energy generation structures			
Percentage of required car parking spaces under cover (minimum 75%) (non-residential only)			

Green & Cool Roofs	Required	Proposed	Proposed %
Available Roof Space (sm)		725	
Available Roof Space provided as Green Roof (sm)	362.5	387	106.8%
Available Roof Space provided as Cool Roof (sm)			
Available Roof Space provided as Solar Panels (sm)			

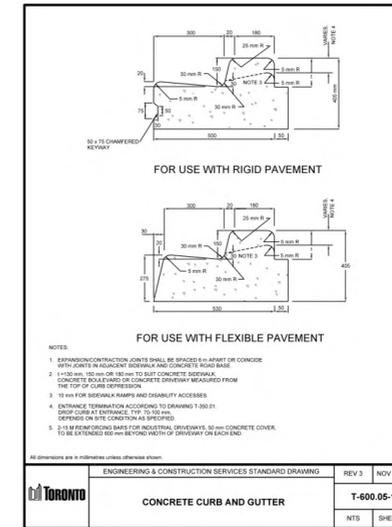
Water Efficiency	Required	Proposed	Proposed %
Total landscaped site area (sm)		1,495	
Landscaped site area planted with drought-tolerant plants (minimum 50%) (sm and %) (if applicable)	50%	1,408	94.1%

Tree Planting Areas & Soil Volume	Required	Proposed	Proposed %
Total Site area (sm)		13,624	
Total Soil Volume Required (40% of the site area + 66sm x 30m³)	2,477	1,132	45.7%
Total number of planting areas (minimum of 30m³ of soil)		10	
Total number of trees planted		49	
Number of surface parking spaces (if applicable)			
Number of shade trees located in surface parking interior (minimum 1 tree for 5 parking spaces)			

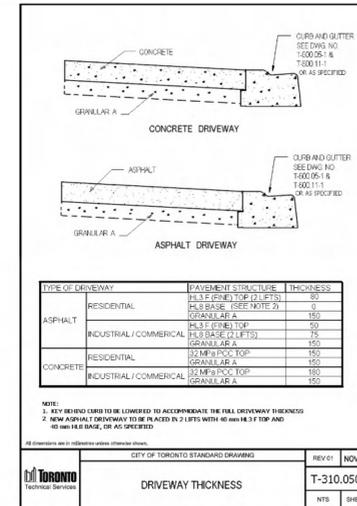
Native and Pollinator Supportive Species	Required	Proposed	Proposed %
Total number of plants		44	
Total number of native plants and % of total plants planted (minimum 50%)	50%	27	61.4%

Bird Friendly Glazing	Required	Proposed	Proposed %
Total area of glazing of all elevations within 16m above grade (including glass balcony railings)		1,142.6	
Total area of treated glazing (minimum 85% of total area of glazing within 16m above grade) (sm)	971.21	968.8	85.0%
Percentage of glazing within 16m above grade treated with:			
a) Low reflectance opaque materials		0	0.0%
b) Visual markers		730.5	63.9%
c) Shading		238.3	20.9%
Total area of glazing of all elevations within 4m above rooftop vegetation (including glass balcony railings)		61.1	
Total area of treated glazing (minimum 85% of total area of glazing within 4m above rooftop vegetation) (sm)	51.94	57.6	94.3%
Percentage of glazing within 12m above grade treated with:			
a) Low reflectance opaque materials		0	0.0%
b) Visual markers		36	58.9%
c) Shading		21.6	35.4%

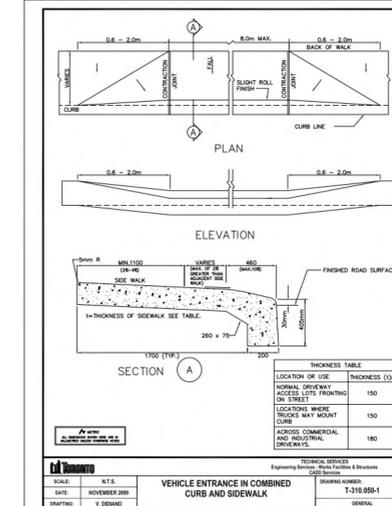
ACCESSIBILITY DESIGN STANDARD CHECKLIST		
NO	DESCRIPTION	FLOOR
1	MIN. 1500MM WIDE SIDEWALK	GROUND
2	EXTERIOR PATH - STABLE, FIRM, SLIP RESISTANCE	GROUND
3	MIN. 1100MM WIDTH OF TRAVEL WITH 1800X1800MM LAYBY EVERY 30M	P4-FLOOR 19
4	ACCESSIBLE PARKING SPACE & SIGNAGE	P4-P1
5	OVERHEAD CLEARANCE OF 2100MM FROM PARKING ENTRANCE TO ACCESSIBLE PARKING SPACE	P4-P1
6	ACCESSIBLE BUILDING ENTRANCES	P4-GROUND
7	VESTIBULE WITH 1500MM DIAMETER TURNING CIRCLE	P4-GROUND
8	BARRIER FREE PASSENGER ELEVATOR	P4-FLOOR 19
9	POWER DOOR OPERATOR AND PUSH BUTTONS AT MAIN RESIDENTIAL ENTRANCES	GROUND
10	LATCH SIDE CLEARANCE OF 600MM (PULL SIDE) AND (300MM (PUSH SIDE) FOR AMENITY DOORS AND BARRIER FREE SUITE.	GROUND- FLOOR 19
11	POWER DOOR OPERATOR WHERE LATCH SIDE CLEARANCE IS NOT PROVIDED	P4-FLOOR 19
12	UNIVERSAL WASHROOMS AT AMENITY	GROUND
13	ACCESSIBLE WASHROOM AT GROUND FLOOR	GROUND
14	960MM CLEAR DOOR WIDTH FOR ALL COMMON AREAS AND SUITE ENTRY DOORS	P4-MPH
15	15% BARRIER FREE SUITE FOR EACH SUITE TYPE	GROUND-FLOOR 19



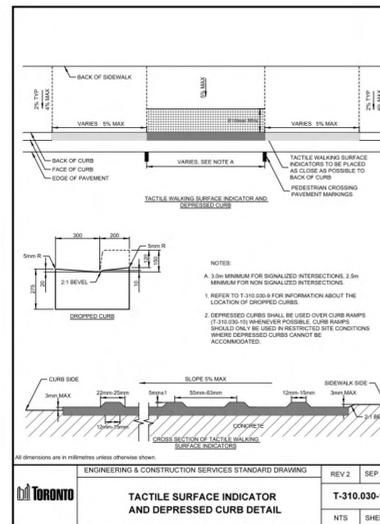
5 Concrete Curb and Gutter detail



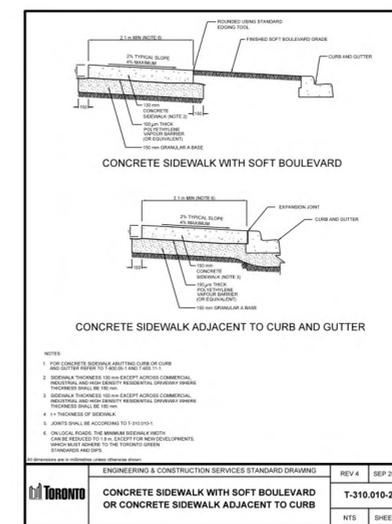
4 Driveway thickness



3 Vehicle entrance in combined Curb and Sidewalk detail



2 Tactile Surface Indicator and Depressed curb detail



1 Concrete Sidewalk typical detail

Date	No.	Description
2022-10-25		Site Plan Control Application Resubmission
2022-06-24		Issued for Bid
2021-12-14		Site Plan Control Application Resubmission
2021-02-01		Site Plan Control Application

ISSUE RECORD



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330 MILL ROAD

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16019 NTS PN HT
 PROJECT SCALE DRAWN REVIEWED

SITE STATISTICS AND TYPICAL DETAILS

A100A.S

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Ravine & Natural Feature Protection By-law

The Ravine & Natural Feature Protection By-law, Chapter 658 of the City of Toronto Municipal Code regulates the injury and destruction of trees, dumping of refuse and changes to grade within protected areas defined in Schedule A.

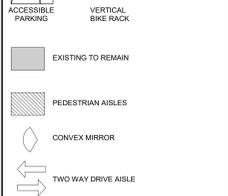
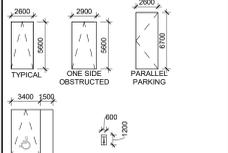
Under this by-law protected trees may not be removed, injured or destroyed, and protected grades may not be altered, without written authorization from Urban Forestry Ravine & Natural Feature Protection, on behalf of the General Manager of Parks, Forestry & Recreation.

Convictions of offences respecting the regulations in the Ravine & Natural Feature Protection By-law are subject to fines, and the landowner may be ordered by the court to restore the area to the satisfaction of the City. A person convicted of an offence under this By-law is liable to a minimum fine of \$500 and a maximum fine of \$100,000 for each tree destroyed, a maximum fine of \$100,000 for any other offence committed under this chapter, and/or a Special fine of \$100,000. A person convicted of a continuing offence, including failure to comply with ravine permit conditions is liable to a maximum fine of not more than \$10,000 for each day or part of a day that the offence continues. RNFP 4908

- LINES AND BOUNDARIES LEGEND:**
- — — — — PROPERTY LINE
 - - - - - LINE OF UNDERGROUND GARAGE BELOW
 - - - - - NATURAL FEATURES LIMIT LINE
 - - - - - NATURAL FEATURES LIMIT 10M BUFFER LINE
 - — — — — LONG-TERM STABLE TOP OF BANK LINE
 - - - - - LONG-TERM STABLE TOP OF BANK 10M SETBACK LINE
 - — — — — TRCA LAND CONVEYANCE EXTENT (BLUE) AND 100M OFFSET FENCE (DASHED)
 - — — — — RNFP BY-LAW LIMIT

- PARKING NOTES:**
- MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2000mm WIDE X 5000mm LONG (ONE SIDE OBSTRUCTED)
 - 2500mm WIDE X 5000mm LONG (ONE SIDE OBSTRUCTED)
 - 3200mm WIDE X 5000mm LONG (TWO SIDES OBSTRUCTED)
 - MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED
 - MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT
 - ALL SPACES NOT EQUIPPED WITH EVSE WILL HAVE PROVISIONS FOR FUTURE INSTALLATION.

- PARKING LEGEND:**
- (P) PARKING SPACE
 - R = RESIDENT PARKING
 - V = VISITOR PARKING
 - L = LEV PARKING
 - S = CAR SHARING, CARPOOLING
 - EV = ELECTRIC VEHICLE SUPPLY EQUIPMENT



Date	No.	Description
2021-12-14	1	Site Plan Control Application Resubmission
2021-02-01	2	Site Plan Control Application
2020-08-12	3	Rezoning Application Resubmission
2019-05-17	4	Rezoning Application

REVISION RECORD

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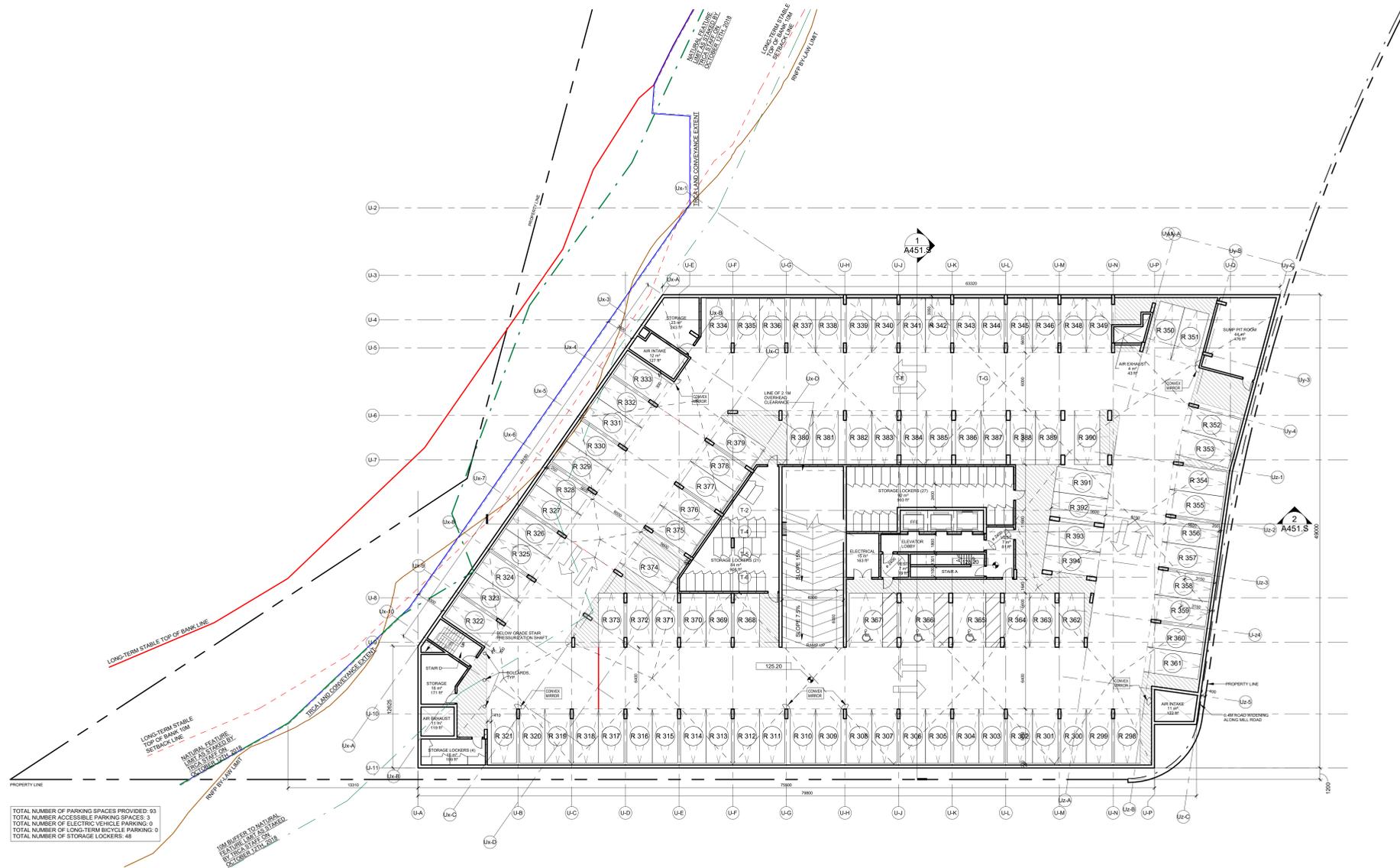
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Etobicoke, ON M9C 4Y9
for BMR Title Corp.

16019 As indicated PN HT
PROJECT SCALE DRAWN REVIEWED

UNDERGROUND PARKING LEVEL P4

A151.S

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TOTAL NUMBER OF PARKING SPACES PROVIDED: 93
TOTAL NUMBER OF ACCESSIBLE PARKING SPACES: 3
TOTAL NUMBER OF ELECTRIC VEHICLE PARKING: 0
TOTAL NUMBER OF LONG-TERM BICYCLE PARKING: 0
TOTAL NUMBER OF STORAGE LOCKERS: 48

1 A151.S
Underground Parking Level P4
SCALE: 1:200

Ravine & Natural Feature Protection By-law

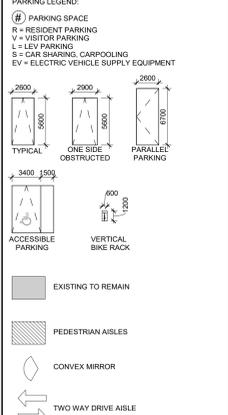
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- LINES AND BOUNDARIES LEGEND:**
- — — — — PROPERTY LINE
 - - - - - LINE OF UNDERGROUND GARAGE BELOW
 - - - - - NATURAL FEATURES LIMIT LINE
 - - - - - NATURAL FEATURES LIMIT 10M BUFFER LINE
 - — — — — LONG-TERM STABLE TOP OF BANK LINE
 - - - - - LONG-TERM STABLE TOP OF BANK 10M SETBACK LINE
 - — — — — TRCA LAND CONVEYANCE EXTENT (BLUED) AND 100M OFFSET FENCE (DASHED)
 - — — — — RNFP BY-LAW LIMIT

- PARKING NOTES:**
- MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 - 2000mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED)
 - 2000mm WIDE X 5600mm LONG (ONE SIDE OBSTRUCTED)
 - 3000mm WIDE X 5600mm LONG (TWO SIDES OBSTRUCTED)
 - MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED
 - MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT
 - ALL SPACES NOT EQUIPPED WITH EVSE WILL HAVE PROVISIONS FOR FUTURE INSTALLATION.



Date	No.	Description
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2019-05-17		Rezoning Application

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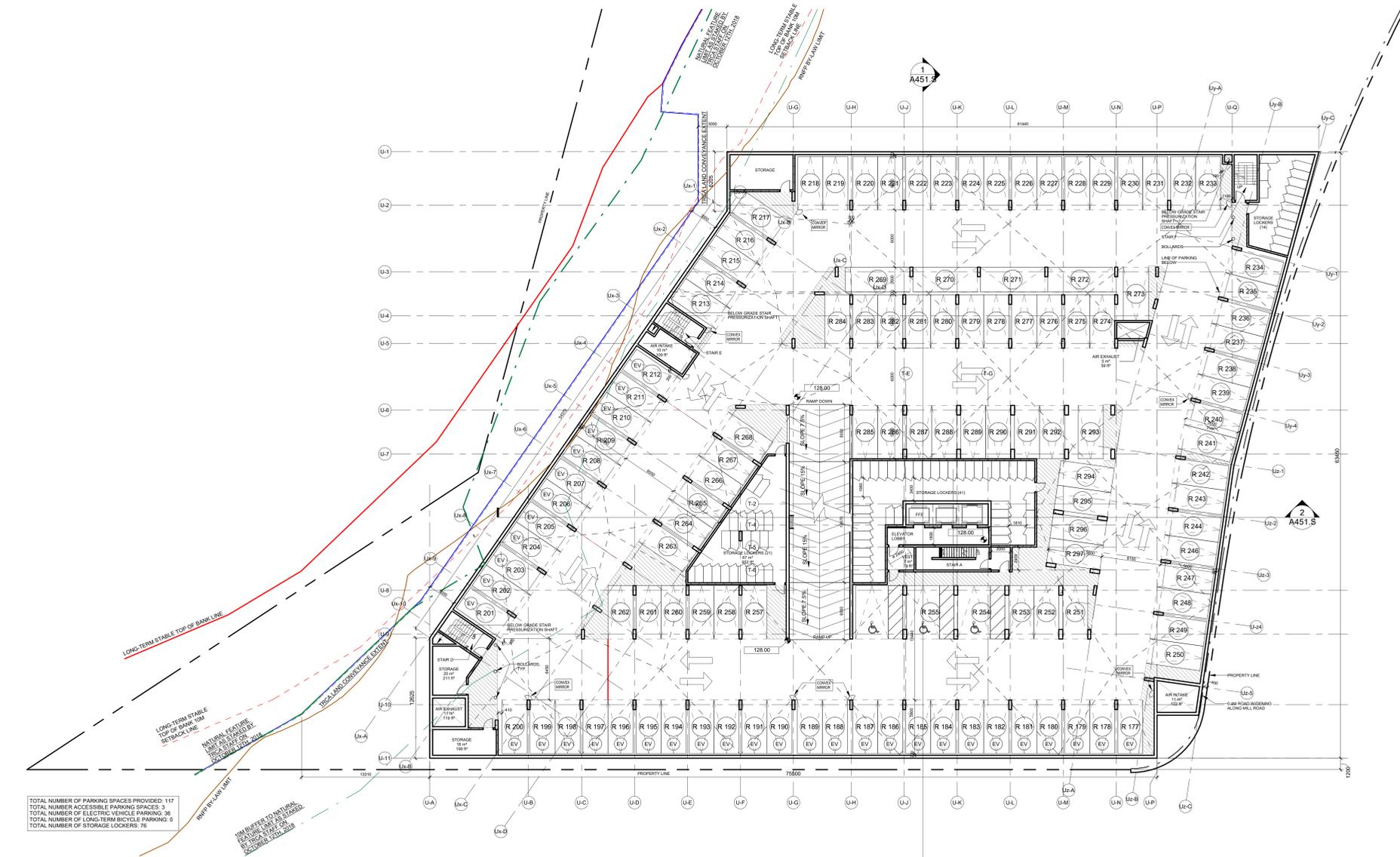
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 PROJECT SCALE DRAWN REVIEWED

UNDERGROUND PARKING LEVEL P3

A152.S

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TOTAL NUMBER OF PARKING SPACES PROVIDED: 117
 TOTAL NUMBER ACCESSIBLE PARKING SPACES: 3
 TOTAL NUMBER OF ELECTRIC VEHICLE PARKING: 36
 TOTAL NUMBER OF LONG-TERM BICYCLE PARKING: 8
 TOTAL NUMBER OF STORAGE LOCKERS: 76

1 A152.S
 Underground Parking Level P3
 SCALE: 1: 200

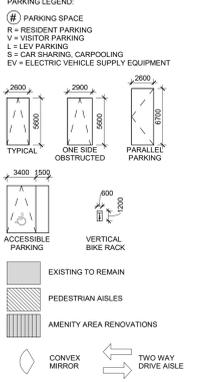
Ravine & Natural Feature Protection By-law

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- LINES AND BOUNDARIES LEGEND:**
- PROPERTY LINE
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 - RNFP BY-LAW LIMIT

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2022-10-25		Site Plan Control Application Resubmission
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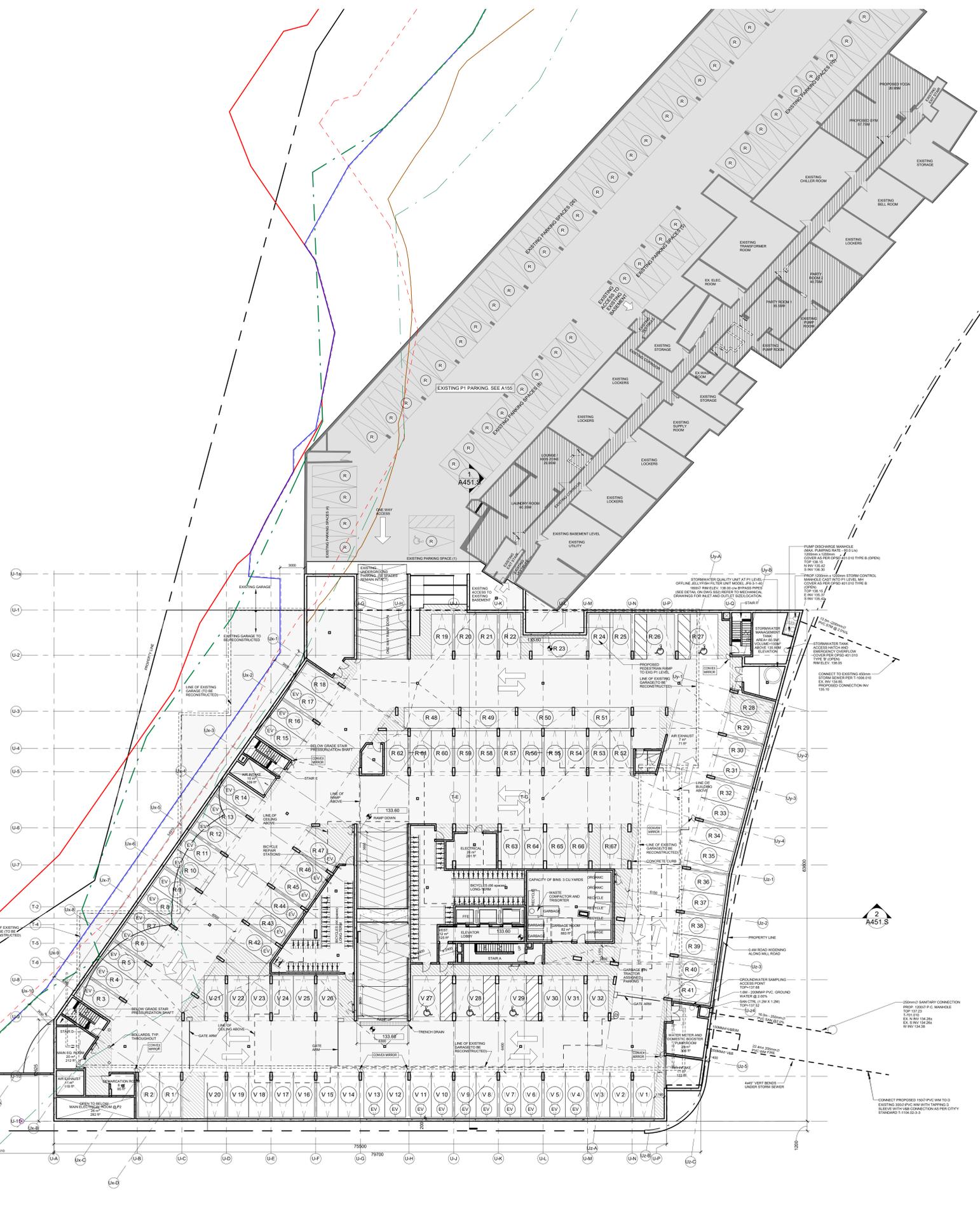
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16019 As indicated PN HT
PROJECT SCALE DRAWN REVIEWED

UNDERGROUND PARKING LEVEL P1

A154.S

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- A. TOTAL NUMBER OF PARKING SPACES PROVIDED: 154 (Proposed and Existing)
- B. TOTAL NUMBER ACCESSIBLE PARKING SPACES: 5 (INCLUDED IN ITEM A)
- C. TOTAL NUMBER OF ELECTRIC VEHICLE PARKING: 37
- D. TOTAL NUMBER OF LONG-TERM BICYCLE PARKING: 110
- E. TOTAL NUMBER OF STORAGE LOCKERS: 0

1 Underground Parking Level P1
SCALE: 1: 200

Attached Docs: 330 Mill Road A154_S 16019_330 Mill Road_2022.rvt

Ravine & Natural Feature Protection By-law

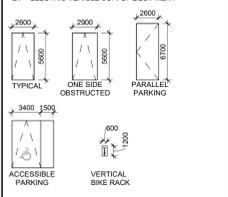
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 - R = RESIDENT PARKING
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 - L = LEV PARKING
 - S = CAR SHARING, CARPOOLING
 - EV = ELECTRIC VEHICLE SUPPLY EQUIPMENT



- EXISTING TO REMAIN
- PEDESTRIAN AISLES
- CONVEX MIRROR
- TWO WAY DRIVE AISLE

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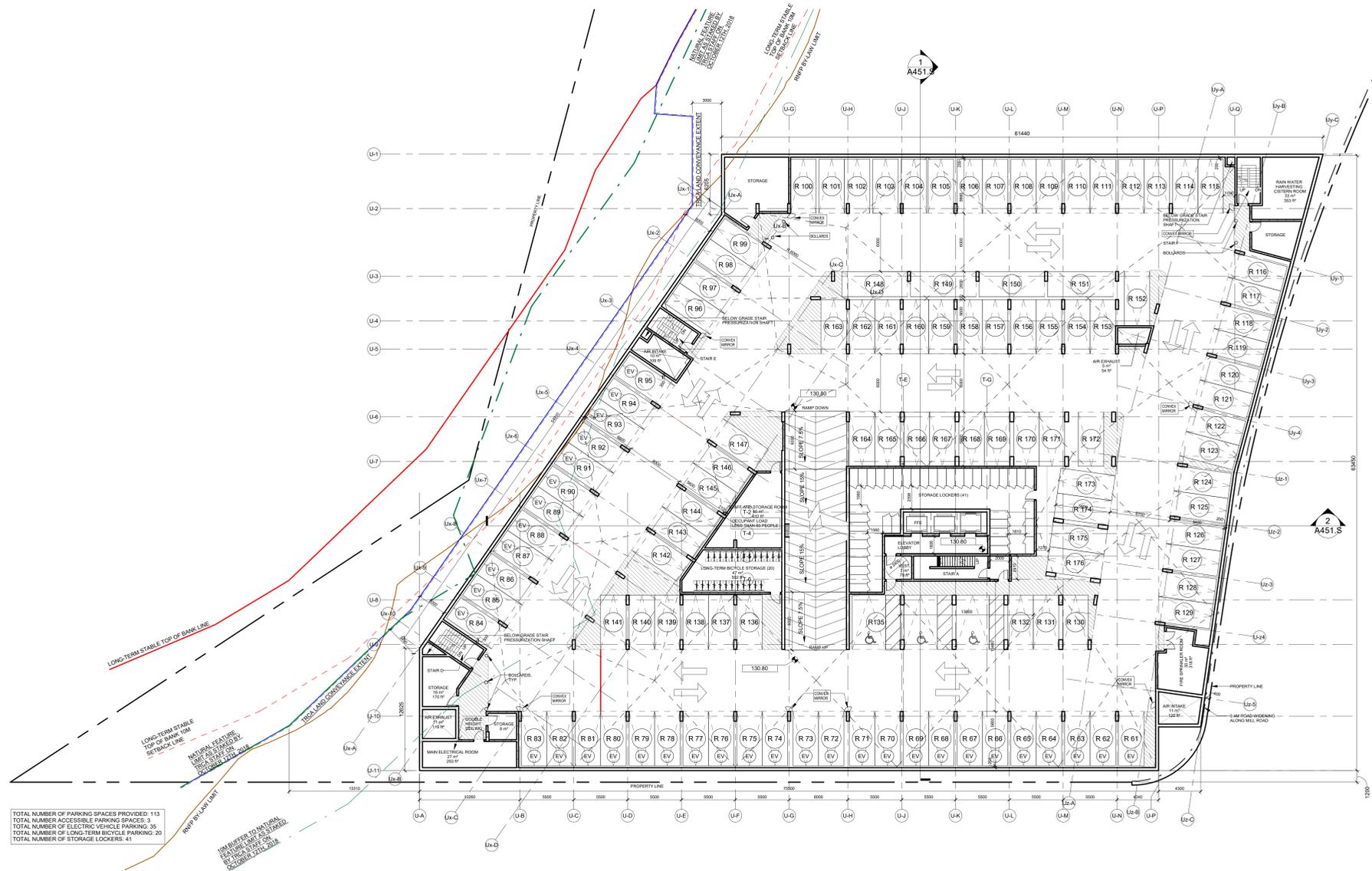
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BMR Title Corp.

16019 As indicated PN HT
PROJECT SCALE DRAWN REVIEWED

UNDERGROUND PARKING
LEVEL P2

A153.S

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TOTAL NUMBER OF PARKING SPACES PROVIDED: 113
 TOTAL NUMBER OF ACCESSIBLE PARKING SPACES: 3
 TOTAL NUMBER OF ELECTRIC VEHICLE PARKING: 35
 TOTAL NUMBER OF LONG-TERM BICYCLE PARKING: 20
 TOTAL NUMBER OF STORAGE LOCKERS: 41

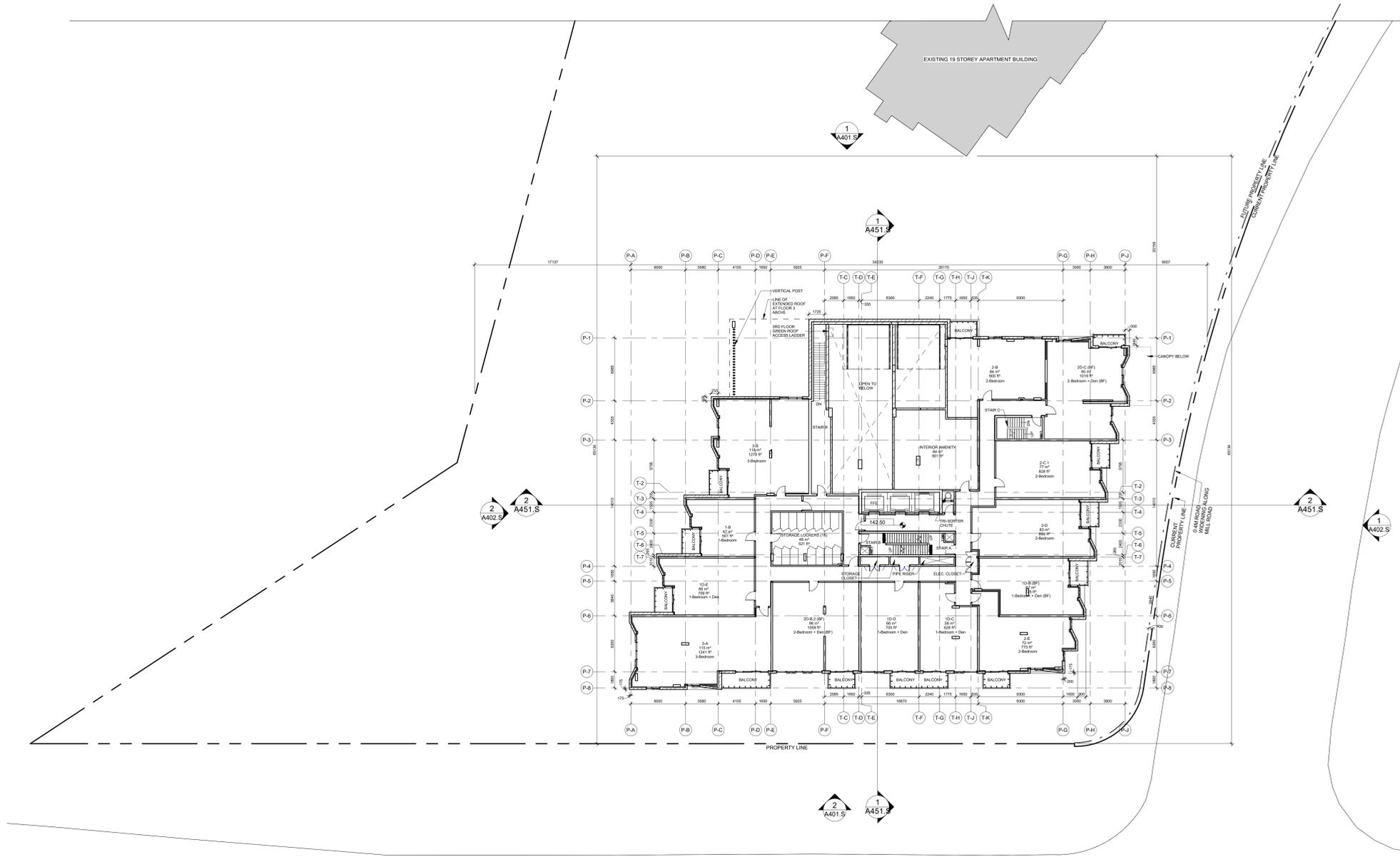
1 Underground Parking Level P2
SCALE: 1: 200

Ravine & Natural Feature Protection By-law

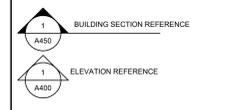
The Ravine & Natural Feature Protection By-law, Chapter 658 of the City of Toronto Municipal Code regulates the injury and destruction of trees, stumps of refuse and changes to grade within protected areas defined in Schedule A.

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1
A202.S
Plan of Floor 2
SCALE: 1 : 200



Date	No.	Description
REVISION RECORD		
2021-12-14		Site Plan Control Application Resubmission
2021-02-01		Site Plan Control Application
2020-08-12		Rezoning Application Resubmission
2019-05-17		Rezoning Application
ISSUE RECORD		



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Etobicoke, ON M9C 4Y9
for
BMR Title Corp.

16019 As indicated PN HT
PROJECT SCALE DRAWN REVIEWED

PLAN OF FLOOR 2

A202.S

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C:\Users\mhammond\Documents\A202_S\161912_340 Mill Road_0202_Rooms.dwg

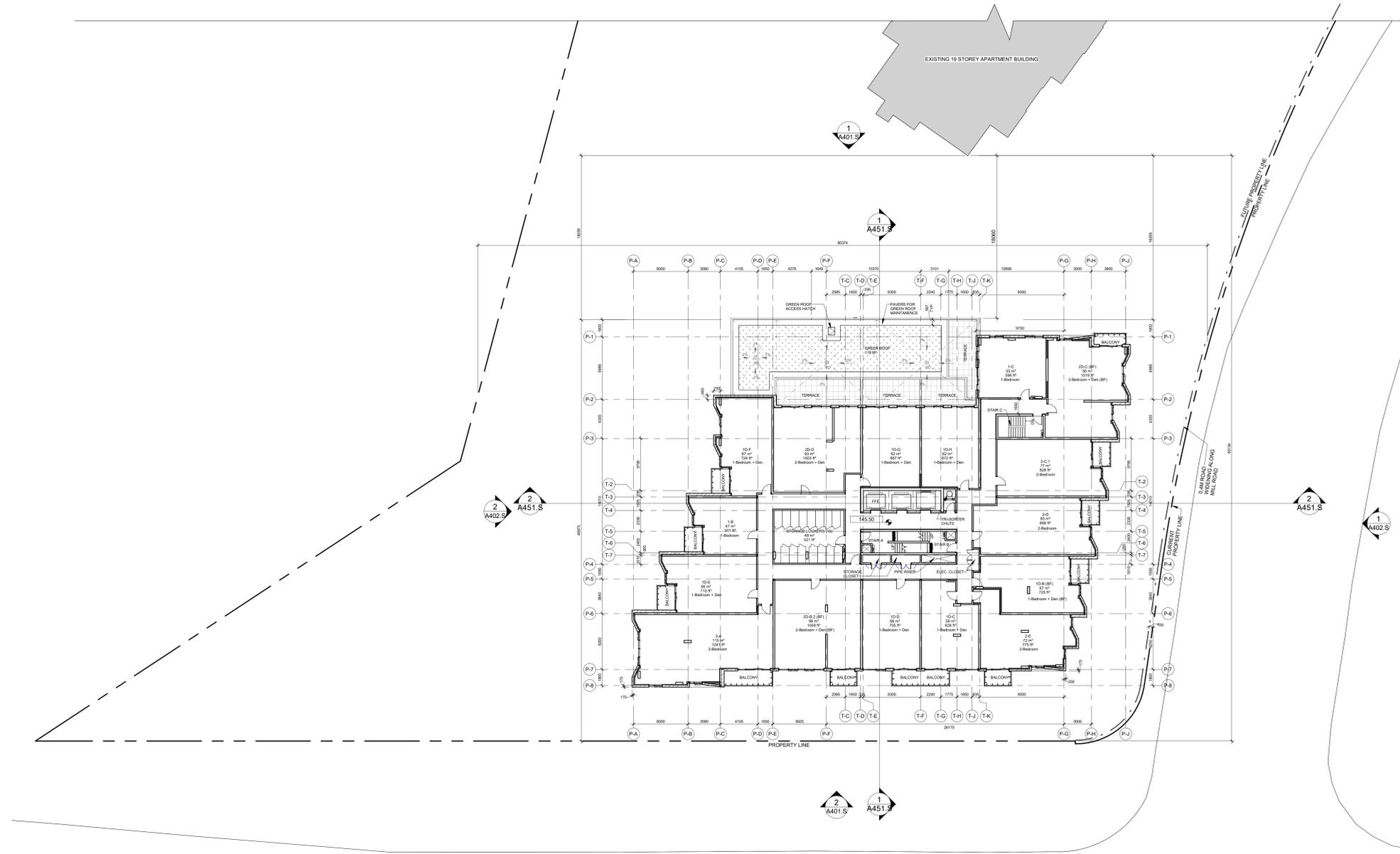
2021-12-16 11:28 PM

Ravine & Natural Feature Protection By-law

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1
A203.S
Plan of Floor 3
SCALE: 1 : 200



Date	No.	Description
REVISION RECORD		
2021-12-14		Site Plan Control Application Resubmission
2021-02-01		Site Plan Control Application
2020-08-12		Rezoning Application Resubmission
2019-05-17		Rezoning Application
ISSUE RECORD		



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16019 As indicated PN HT
PROJECT SCALE DRAWN REVIEWED

PLAN OF FLOOR 3

A203.S

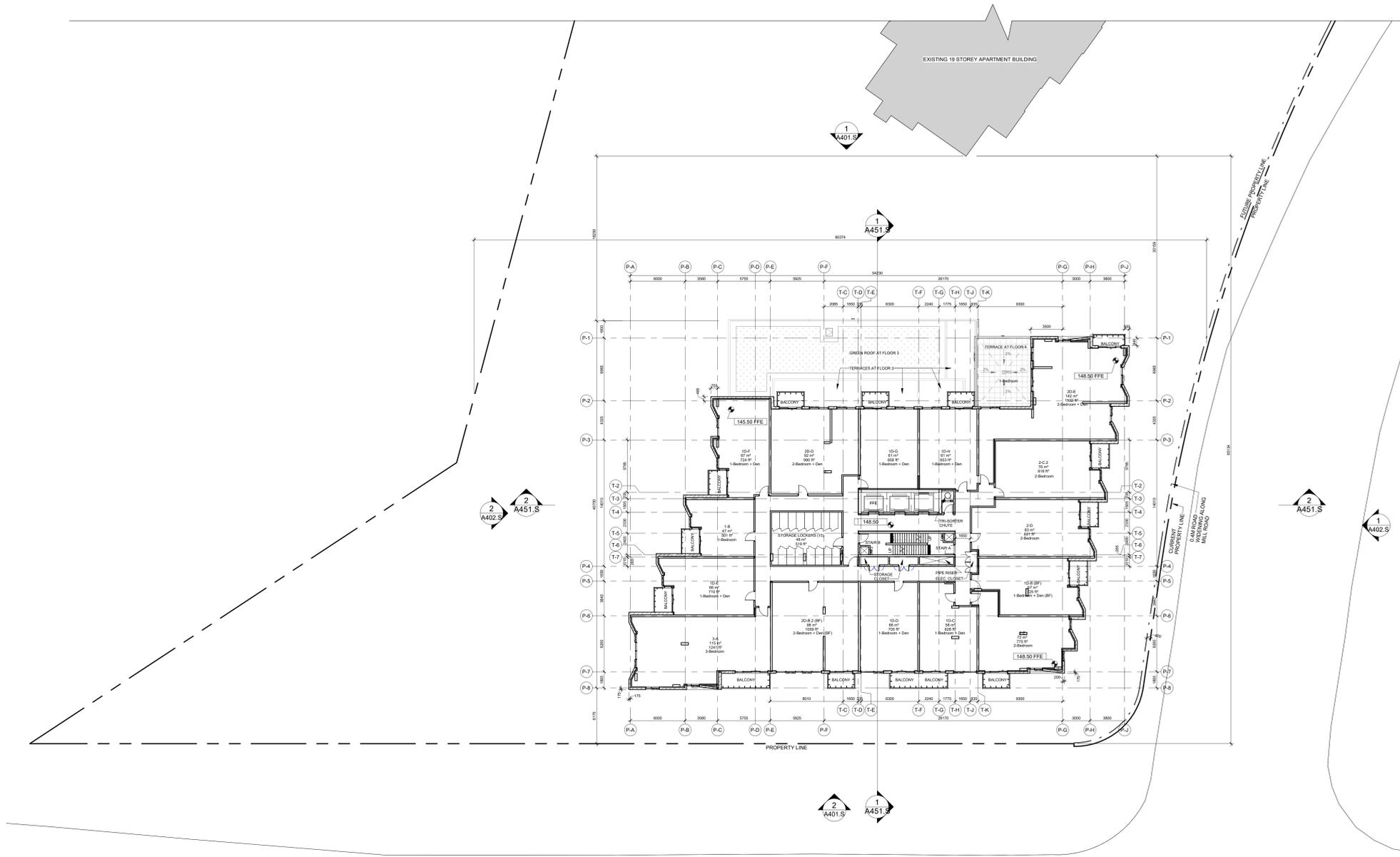
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Ravine & Natural Feature Protection By-law

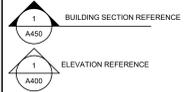
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1
A204.S
Plan of Floor 4
SCALE: 1:200



Date	No.	Description
REVISION RECORD		
2021-12-14		Site Plan Control Application Resubmission
2021-02-01		Site Plan Control Application
2020-08-12		Rezoning Application Resubmission
2019-05-17		Rezoning Application
ISSUE RECORD		



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16019 As indicated PN HT
PROJECT SCALE DRAWN REVIEWED

PLAN OF FLOOR 4

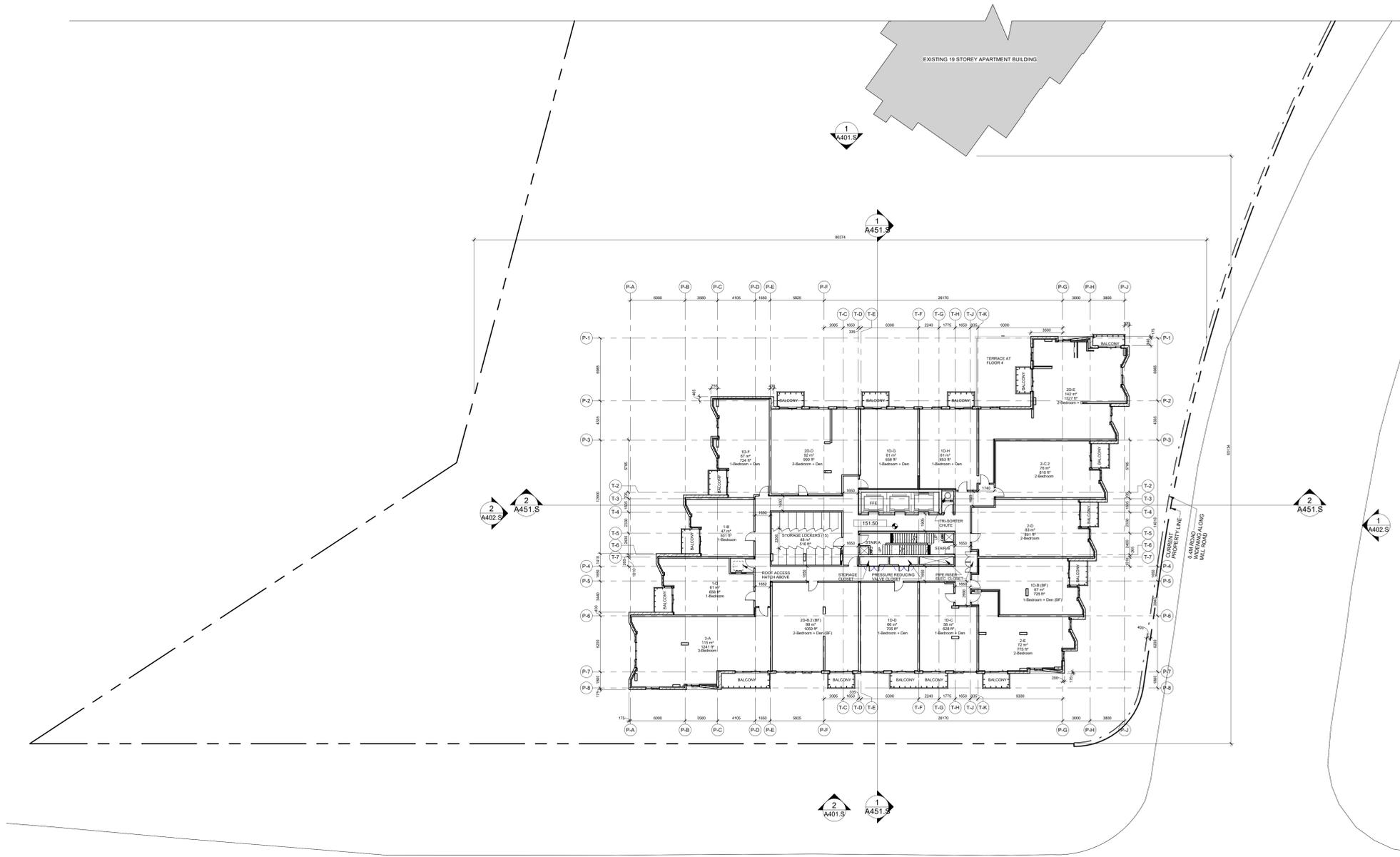
A204.S

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Ravine & Natural Feature Protection By-law

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1 A205.S Plan of Floor 5

Date	No.	Description
REVISION RECORD		
2021-12-14		Site Plan Control Application Resubmission
2021-02-01		Site Plan Control Application
ISSUE RECORD		



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16019 As Indicated PN HT
PROJECT SCALE DRAWN REVIEWED

PLAN OF FLOOR 5

A205.S

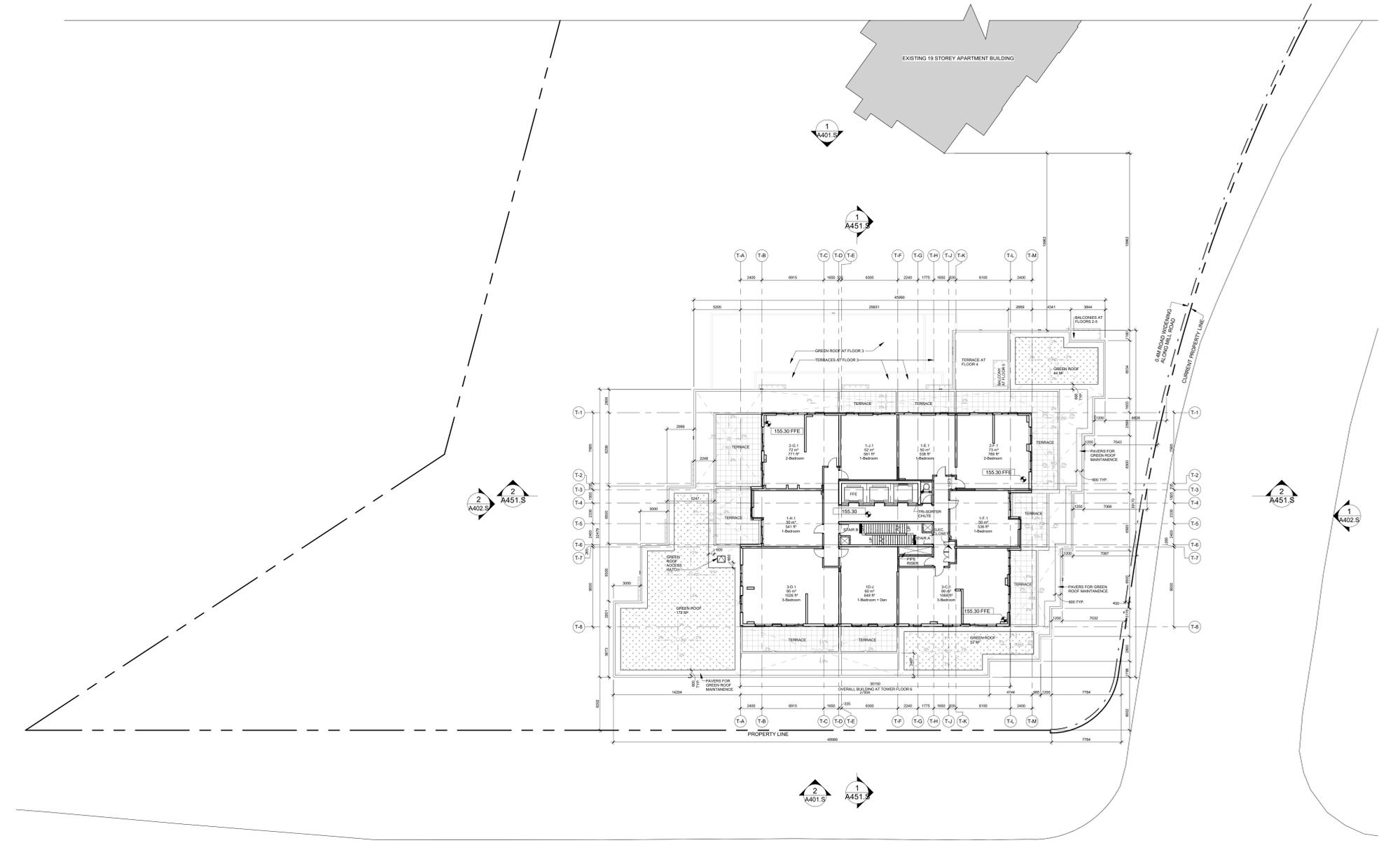
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Ravine & Natural Feature Protection By-law

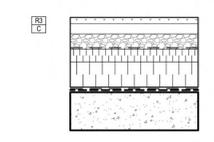
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1
A206.S
Plan of Floor 6
SCALE: 1 : 200



Insulated Inverted Roof at Vegetated Landscape Assembly on Concrete Slab

20mm rigid roof insulation (RSI=1.74)
100mm rigid roof insulation (RSI=3.48)
Roof barrier membrane
Roofing membrane system
Cast-in-place concrete slab sloped to drains (min 150mm thick)

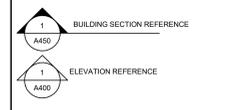
Note: Provide min 300mm clear vegetation-free zone around drains and 500mm along roof parapets.

Thickness = Varies
RSI = 5.22
FRR = 2 HR

VR 2020 GREEN ROOF SYSTEM BY VITAROOF'S (OR APPROVED ALTERNATE)

PMRA BUILD UP SYSTEM HEIGHT: 63.5 MM
WATER RETENTION CAPACITY: 6LM/2 (0.18 GAL/FT²)

Green Roof Statistics	
Available Roof Space Calculation	
Gross Floor Area, as defined in Green Roof Bylaw (sm)	Proposed 20,439.0
Total Roof Area (sm)	1,477.0
Area of Residential Private Terraces (sm)	406
Roof-top Outdoor Amenity Space, if in Residential Building (sm)	0
Area of Renewable Energy Devices (sm)	0
Tower(s) Roof Area with floor plate less than 750sm	348
Total Available Roof Space (sm)	725.0
Green Roof Coverage	
Coverage of Available Roof Space (sm)	Required 387 Proposed 387
Coverage of Available Roof Space (%)	Required 50 Proposed 53



Date	No.	Description
REVISION RECORD		
2021-12-14		Site Plan Control Application Resubmission
2021-02-01		Site Plan Control Application
2020-08-12		Rezoning Application Resubmission
2019-05-17		Rezoning Application
ISSUE RECORD		



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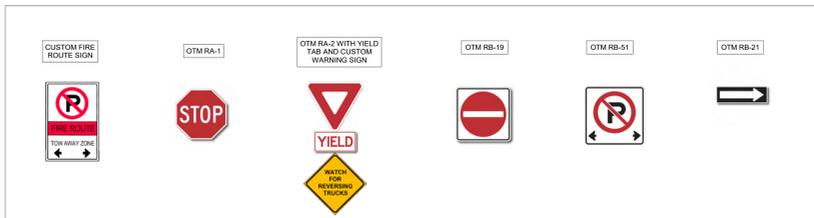
340 MILL ROAD
Etobicoke, ON M9C 4Y9
for
BMR Title Corp.

16019 As indicated PN HT
PROJECT SCALE DRAWN REVIEWED

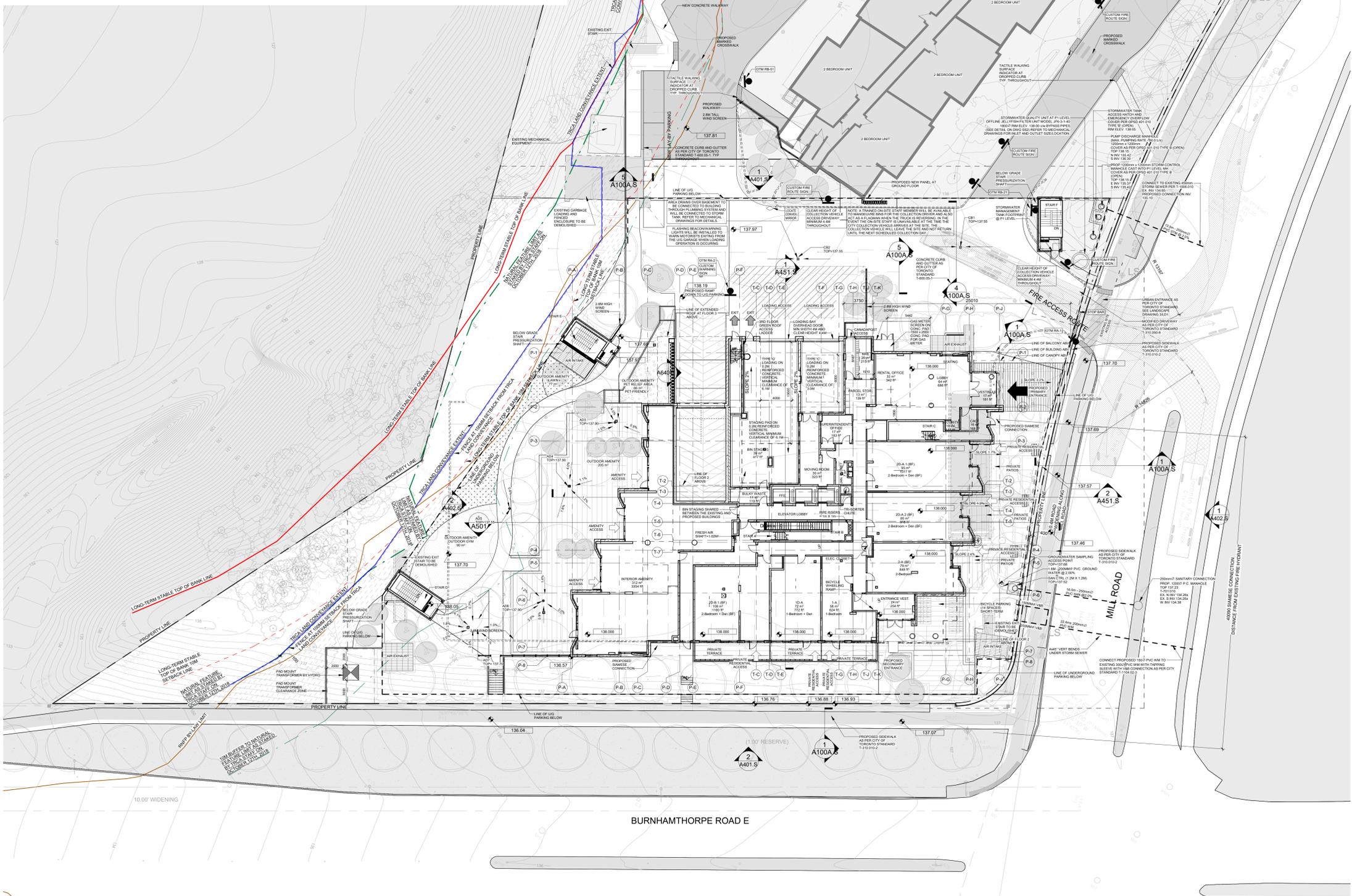
PLAN OF FLOOR 6

A206.S

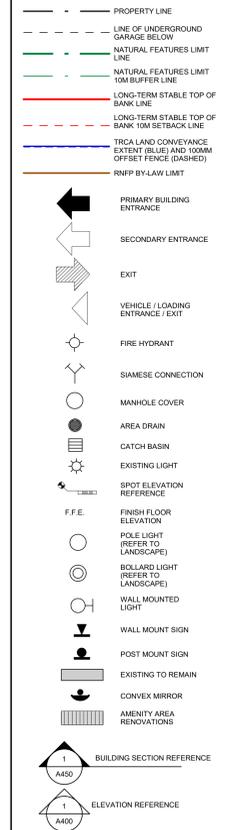
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2 Traffic Signs Legend



SITE PLAN LEGEND



REVISION RECORD

Date	No.	Description
2022-10-25	1	Site Plan Control Application Resubmission
2022-06-24	2	Issued for Dig
2021-12-14	3	Site Plan Control Application Resubmission
2021-02-01	4	Site Plan Control Application Resubmission
2020-08-12	5	Rezoning Application Resubmission
2019-05-17	6	Rezoning Application

ISSUE RECORD



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330 MILL ROAD

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16019 As indicated PN HT
PROJECT SCALE DRAWN REVIEWED

GROUND FLOOR PLAN

A201.S

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Ravine & Natural Feature Protection By-law
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1 Ground Floor Plan
SCALE: 1:200

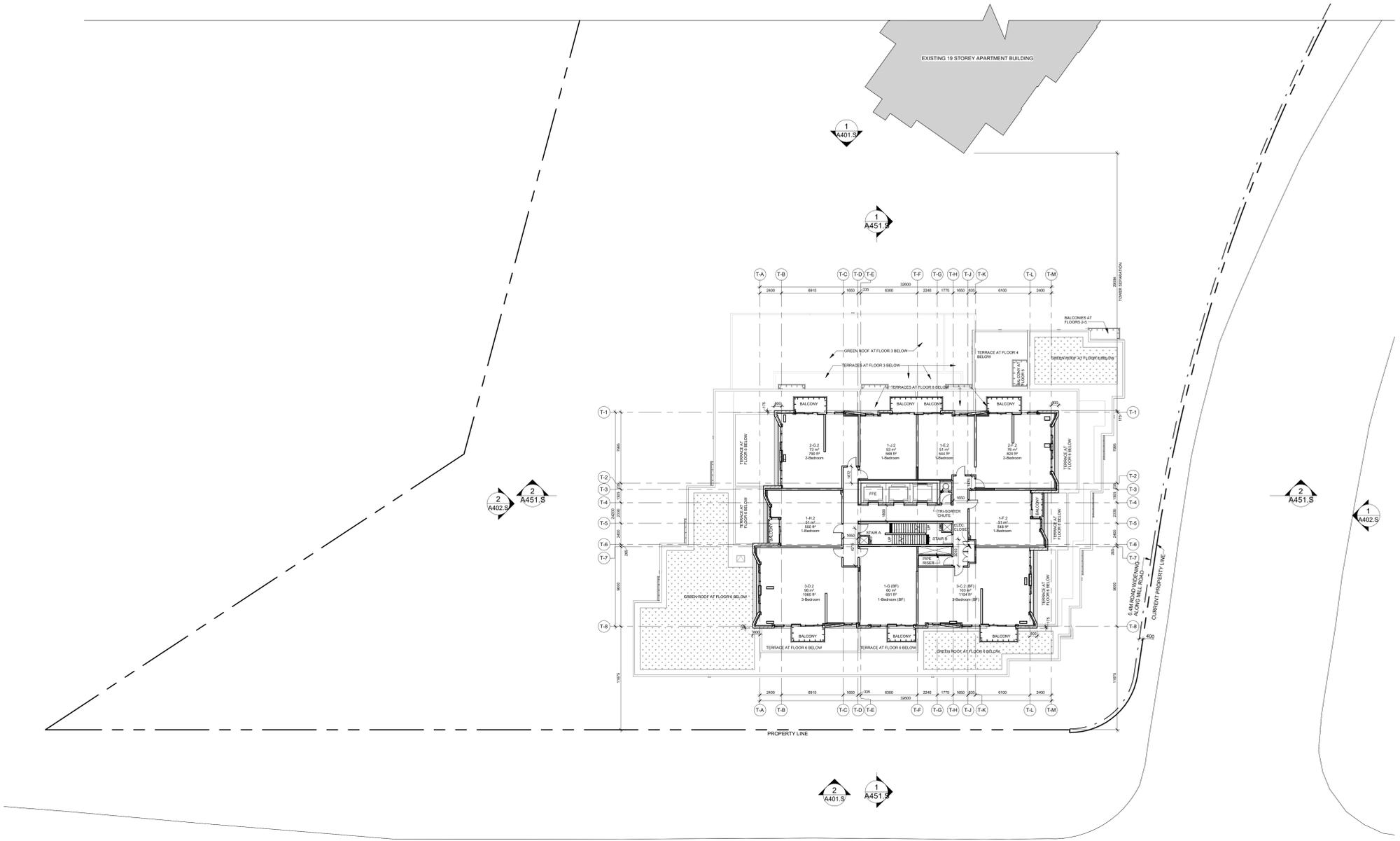
Attached Docs: 330 Mill Road_A201_S4 Mill Road_R2022-01

Ravine & Natural Feature Protection By-law

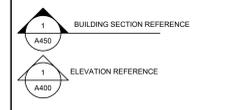
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1
A207.S
Plan of Typical Floors 7 to 19
SCALE: 1 : 200



Date	No.	Description
REVISION RECORD		
2021-12-14		Site Plan Control Application Resubmission
2021-02-01		Site Plan Control Application
2020-08-12		Rezoning Application Resubmission
2019-05-17		Rezoning Application
ISSUE RECORD		



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for
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PROJECT SCALE DRAWN REVIEWED

PLAN OF TYPICAL FLOORS 7 TO 19

A207.S

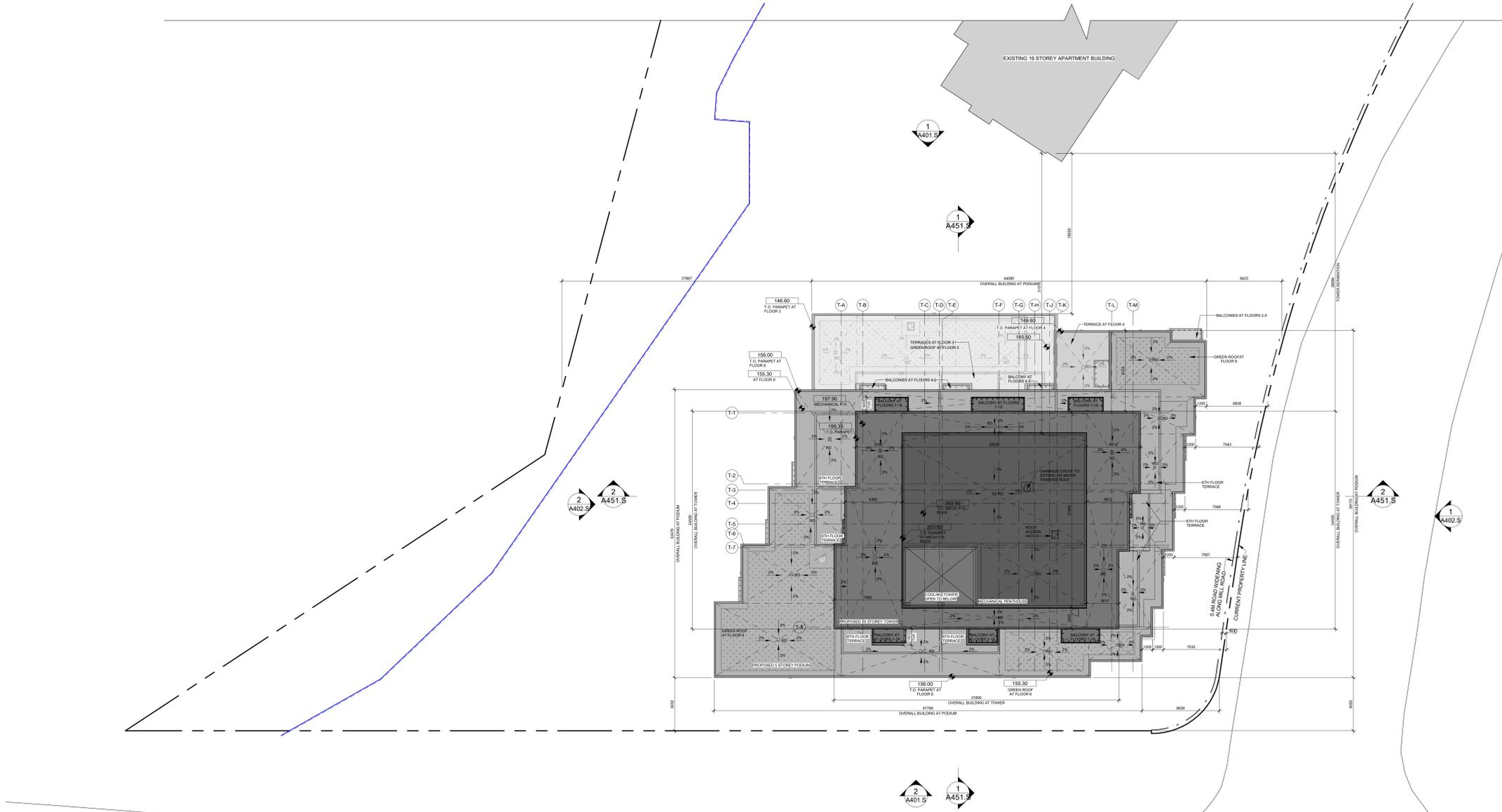
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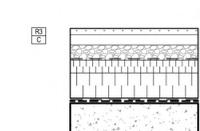
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Roof Plan
SCALE: 1 : 200

Insulated Inverted Roof at Vegetated Landscape Assembly on Concrete Slab

25


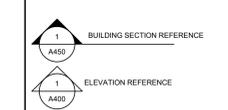
(Vegetated landscape assembly)
 25mm Rigid roof insulation (RSI=1.74)
 100mm Rigid roof insulation (RSI=3.48)
 (staggered joints)
 Root barrier membrane
 Roofing membrane system
 Cast-in-place concrete slab sloped to drains (min 150mm thick)

Note: Provide min 300mm clear vegetation-free zone around drains and 500mm along roof parapets.

Thickness = Varies
 RSI = 5.22
 FRR = 2 HR

VR 2020 GREEN ROOF SYSTEM BY VITAROOF'S OR APPROVED ALTERNATE.
 -PARA BUILD-UP SYSTEM HEIGHT 63 SMM
 -WATER RETENTION CAPACITY 5L/M2 (0.19 GAL/FT2)

Green Roof Statistics	
Available Roof Space Calculation	Proposed
Gross Floor Area, as defined in Green Roof Bylaw (sm)	20,439.0
Total Roof Area (sm)	1,477.0
Area of Residential Private Terraces (sm)	406
Rooftop Outdoor Amenity Space, if in Residential Building (sm)	0
Area of Renewable Energy Devices (sm)	0
Tower(s) Roof Area with floor plate less than 750sm	348
Total Available Roof Space (sm)	725.0
Green Roof Coverage	Required Proposed
Coverage of Available Roof Space (sm)	362.5 387
Coverage of Available Roof Space (%)	50 53



Date	No.	Description
REVISION RECORD		
2021-12-14		Site Plan Control Application Resubmission
2021-02-01		Site Plan Control Application
2020-08-12		Rezoning Application Resubmission
2019-05-17		Rezoning Application
ISSUE RECORD		



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16019 As indicated PN HT
 PROJECT SCALE DRAWN REVIEWED

ROOF PLAN

A209.S

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1 NORTH ELEVATION
SCALE: 1: 200



2 SOUTH ELEVATION
SCALE: 1: 200



3 BIRD-FRIENDLY GLAZING CALCULATIONS - NORTH ELEVATION
SCALE: 1: 200



4 BIRD-FRIENDLY GLAZING CALCULATIONS - SOUTH ELEVATION
SCALE: 1: 200

- LEGEND:**
- ARCHITECTURALLY EXPOSED CONCRETE - REFER TO STRUCTURAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
 - GLASS GUARD - HEAT-STRENGTHENED LAMINATED GLASS WITH COLOUR INTERLAYER
 - MECHANICAL LOUVRE WITH MT-1 (GRAPHITE GREY) FINISH
 - MECHANICAL LOUVRE WITH MT-2 (ANTIQUÉ BRONZE) FINISH
 - DOUBLE GLAZED ALUMINUM WINDOW SYSTEM - GRAPHITE GREY
 - ALUMINUM PLATE - ANTIQUE BRONZE
 - WINDOW SYSTEM METAL SPANDELR PANEL - GRAPHITE GREY
 - WINDOW SYSTEM METAL SPANDELR PANEL - ANTIQUE BRONZE
 - TOP HAT PANEL AS PART OF WINDOW WALL SYSTEM - ANTIQUE BRONZE
 - ALUMINUM MANSREEN CLADDING SYSTEM - ANTIQUE BRONZE
 - PERFORATED METAL PANEL - ANTIQUE BRONZE
 - BRICK EMBEDDED IN PRECAST - DARK GREY
 - BRICK EMBEDDED IN PRECAST - WHITE
 - WINDOW SYSTEM - VISION GLASS
 - WINDOW SYSTEM - VISION GLASS WITH BIRD-FRIENDLY FRIT PATTERN
 - CURTAIN WALL - VISION GLASS WITH BIRD-FRIENDLY FRIT PATTERN

NOTE:
VISION GLASS WITH CUSTOM FRIT PATTERN TO MEET BIRD-FRIENDLY REQUIREMENT
EC-4: 50% OF EXTERIOR GUARDRAILS AND GLAZING OF THE FIRST 1.8M ABOVE GRADE TO BE TREATED WITH VISUAL MARKERS WITH A SPACE NO GREATER THAN 50MM X 50MM.
EC-2: GLAZING ABOVE ROOFTOP VEGETATION TO BE TREATED WITH VISUAL MARKERS WITH A SPACE NO GREATER THAN 50MM X 50MM.

Date	No.	Description
2021-12-14	1	Site Plan Control Application Resubmission
2021-02-01	2	Site Plan Control Application
2020-08-12	3	Rezoning Application Resubmission
2019-05-17	4	Rezoning Application

REVISION RECORD

Date	No.	Description
2021-12-14	1	Site Plan Control Application Resubmission
2021-02-01	2	Site Plan Control Application
2020-08-12	3	Rezoning Application Resubmission
2019-05-17	4	Rezoning Application

ISSUE RECORD



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340 MILL ROAD

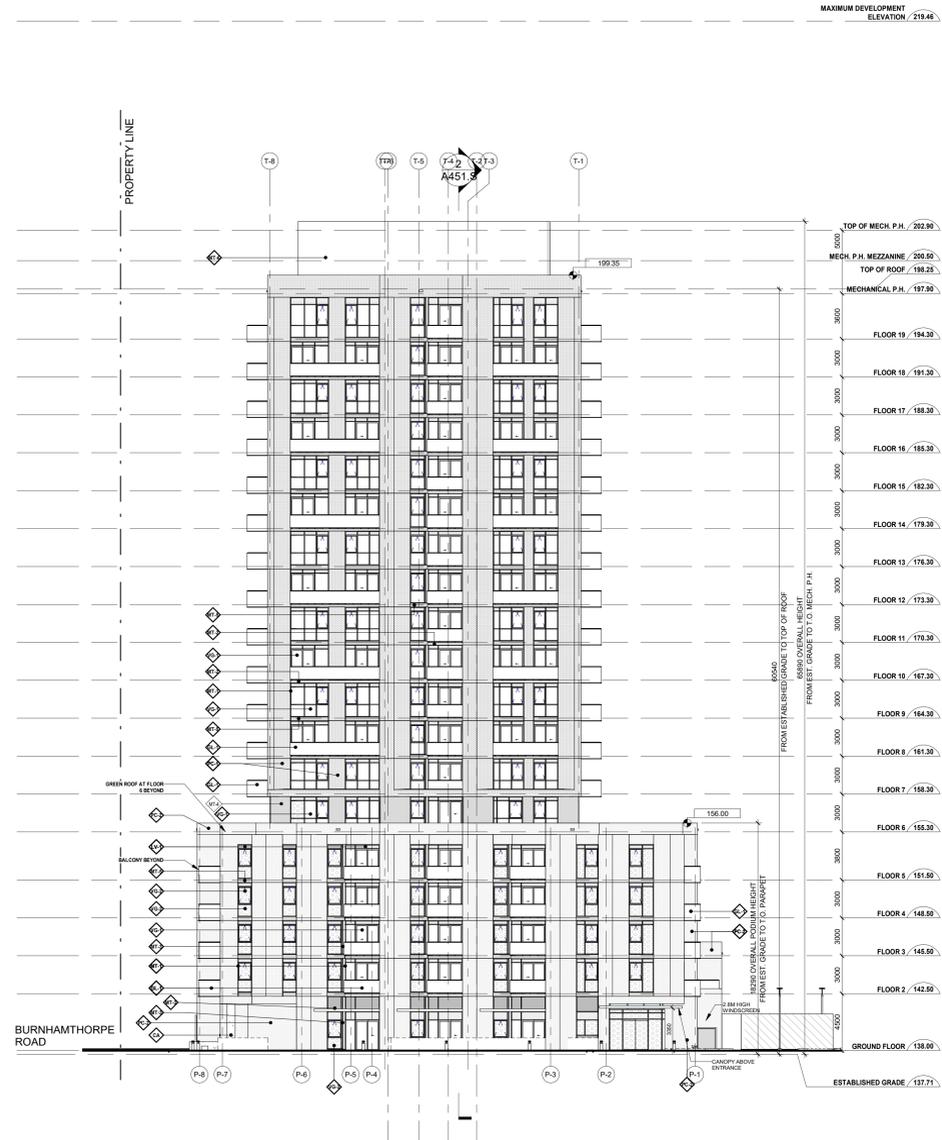
Etobicoke, ON M9C 4Y9
for
BMR Title Corp.

16019 As indicated PN HT
PROJECT SCALE DRAWN REVIEWED

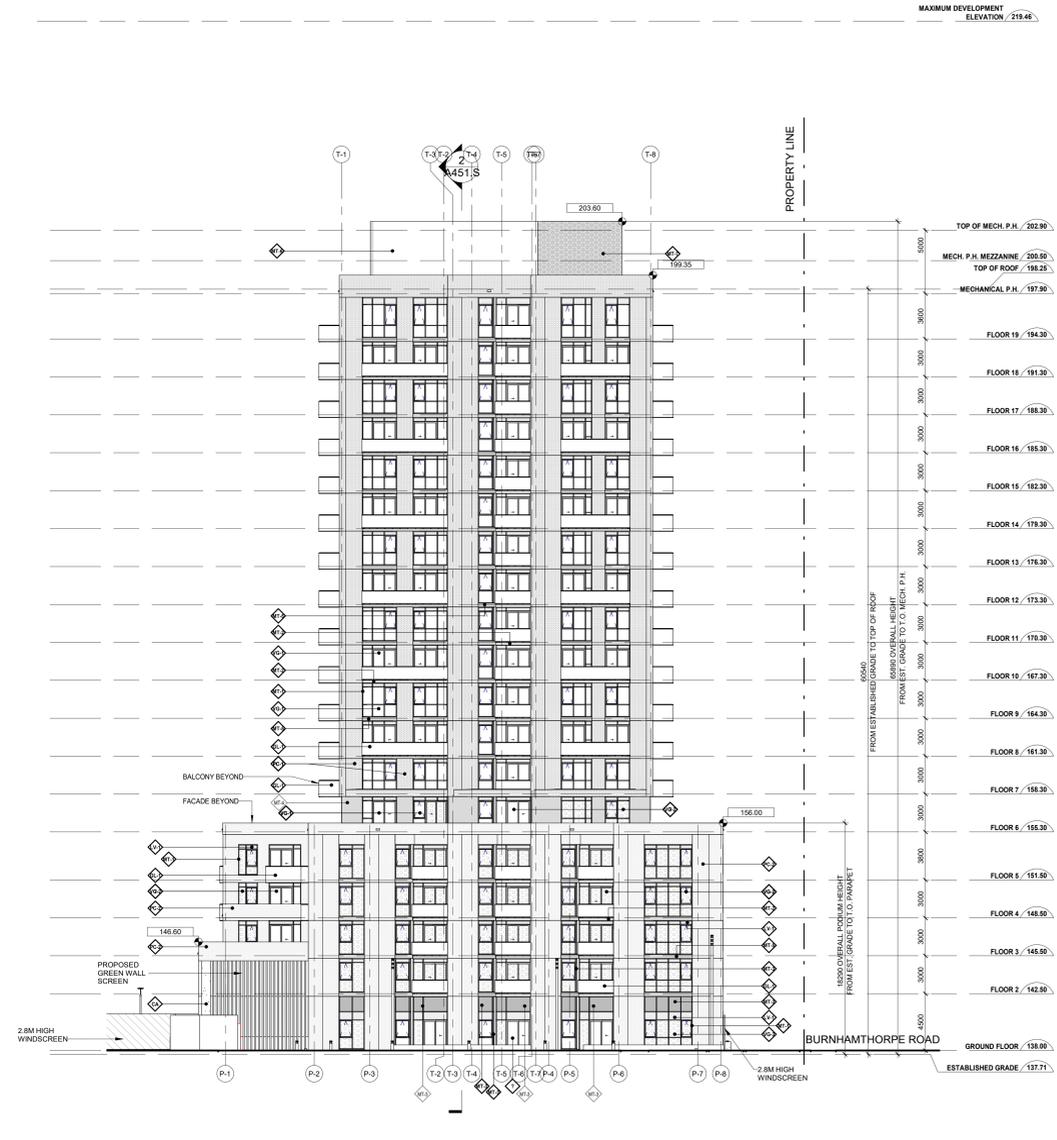
BUILDING NORTH AND SOUTH ELEVATIONS

A401.S

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1 EAST ELEVATION
SCALE: 1 : 200



2 WEST ELEVATION
SCALE: 1 : 200



3 BIRD-FRIENDLY GLAZING CALCULATIONS - EAST ELEVATION
SCALE: 1 : 200



4 BIRD-FRIENDLY GLAZING CALCULATIONS - WEST ELEVATION
SCALE: 1 : 200

- LEGEND:**
- ARCHITECTURALLY EXPOSED CONCRETE - REFER TO STRUCT. SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
 - GLASS GUARD - HEAT-STRENGTHENED LAMINATED GLASS WITH COLOUR INTER-LAYER
 - MECHANICAL LOUVRE WITH MT-1 (GRAPHITE GREY) FINISH
 - MECHANICAL LOUVRE WITH MT-2 (ANTIQUE BRONZE) FINISH
 - DOUBLE GLAZED ALUMINUM WINDOW SYSTEM - GRAPHITE GREY
 - ALUMINUM PLATE - ANTIQUE BRONZE
 - WINDOW SYSTEM METAL SPANDREL PANEL - GRAPHITE GREY
 - WINDOW SYSTEM METAL SPANDREL PANEL - ANTIQUE BRONZE
 - TOP HAT PANEL AS PART OF WINDOW WALL SYSTEM - ANTIQUE BRONZE
 - ALUMINUM MANSUETEN CLADDING SYSTEM - ANTIQUE BRONZE
 - PERFORATED METAL PANEL - ANTIQUE BRONZE
 - BRICK EMBEDDED IN PRECAST - DARK GREY
 - BRICK EMBEDDED IN PRECAST - WHITE
 - WINDOW SYSTEM - VISION GLASS
 - WINDOW SYSTEM - VISION GLASS WITH BIRD-FRIENDLY FRIT PATTERN
 - CURTAIN WALL - VISION GLASS WITH BIRD-FRIENDLY FRIT PATTERN

NOTE:
VISION GLASS WITH CUSTOM FRIT PATTERN TO MEET BIRD-FRIENDLY REQUIREMENT
EC 4.1 50% OF EXTERIOR GUARDRAILS AND GLAZING OF THE FIRST FLOOR ABOVE GRADE TO BE TREATED WITH VISUAL MARKERS WITH A SPACE NO GREATER THAN 50MM X 50MM.
EC 4.2 GLAZING ABOVE ROOFTOP VEGETATION TO BE TREATED WITH VISUAL MARKERS WITH A SPACE NO GREATER THAN 50MM X 50MM.

Date	No.	Description
2021-12-14		Site Plan Control Application Resubmission
2021-02-01		Site Plan Control Application
2020-08-12		Rezoning Application Resubmission
2019-05-17		Rezoning Application

ISSUE RECORD



BDP. Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
416-598-1240 www.bdpquadrangle.com

340 MILL ROAD
Etobicoke, ON M9C 4Y9
for BMR Title Corp.

16019 As indicated PN HT
PROJECT SCALE DRAWN REVIEWED

BUILDING EAST AND WEST ELEVATIONS

A402.S

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- LEGEND:**
- ARCHITECTURALLY EXPOSED CONCRETE - REFER TO STRUCTURAL SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS
 - GLASS GUARD - HEAT-STRENGTHENED LAMINATED GLASS WITH COLOUR INTERLAYER
 - MECHANICAL LOUVRE WITH MT-1 (GRAPHITE GREY) FINISH
 - MECHANICAL LOUVRE WITH MT-2 (ANTIQUE BRONZE) FINISH
 - DOUBLE GLAZED ALUMINUM WINDOW SYSTEM - GRAPHITE GREY
 - ALUMINUM PLATE - ANTIQUE BRONZE
 - WINDOW SYSTEM METAL SPANDEL PANEL - ANTIQUE BRONZE
 - WINDOW SYSTEM METAL SPANDEL PANEL - ANTIQUE BRONZE
 - TOP HAT PANEL AS PART OF WINDOW WALL SYSTEM - ANTIQUE BRONZE
 - ALUMINUM MANSCREEN CLADDING SYSTEM - ANTIQUE BRONZE
 - PERFORATED METAL PANEL - ANTIQUE BRONZE
 - BRICK EMBEDDED IN PRECAST - DARK GREY
 - BRICK EMBEDDED IN PRECAST - WHITE
 - WINDOW SYSTEM - VISION GLASS
 - WINDOW SYSTEM - VISION GLASS WITH BIRD-FRIENDLY FRIT PATTERN
 - CURTAIN WALL - VISION GLASS WITH BIRD-FRIENDLY FRIT PATTERN

NOTE:
VISION GLASS WITH CUSTOM FRIT PATTERN TO MEET BIRD FRIENDLY REQUIREMENT
EC 4.1 50% OF EXTERIOR GUARDRAILS AND GLAZING OF THE FIRST 18M ABOVE GRADE TO BE TREATED WITH VISUAL MARKERS WITH A SPACE NO GREATER THAN 50MM X 50MM.
EC 4.2 GLAZING 4M ABOVE ROOFTOP VEGETATION TO BE TREATED WITH VISUAL MARKERS WITH A SPACE NO GREATER THAN 50MM X 50MM.

Date	No.	Description
REVISION RECORD		
2021-12-14		Site Plan Control Application Resubmission
2021-02-01		Site Plan Control Application
ISSUE RECORD		

2021-12-14 Site Plan Control Application Resubmission
2021-02-01 Site Plan Control Application



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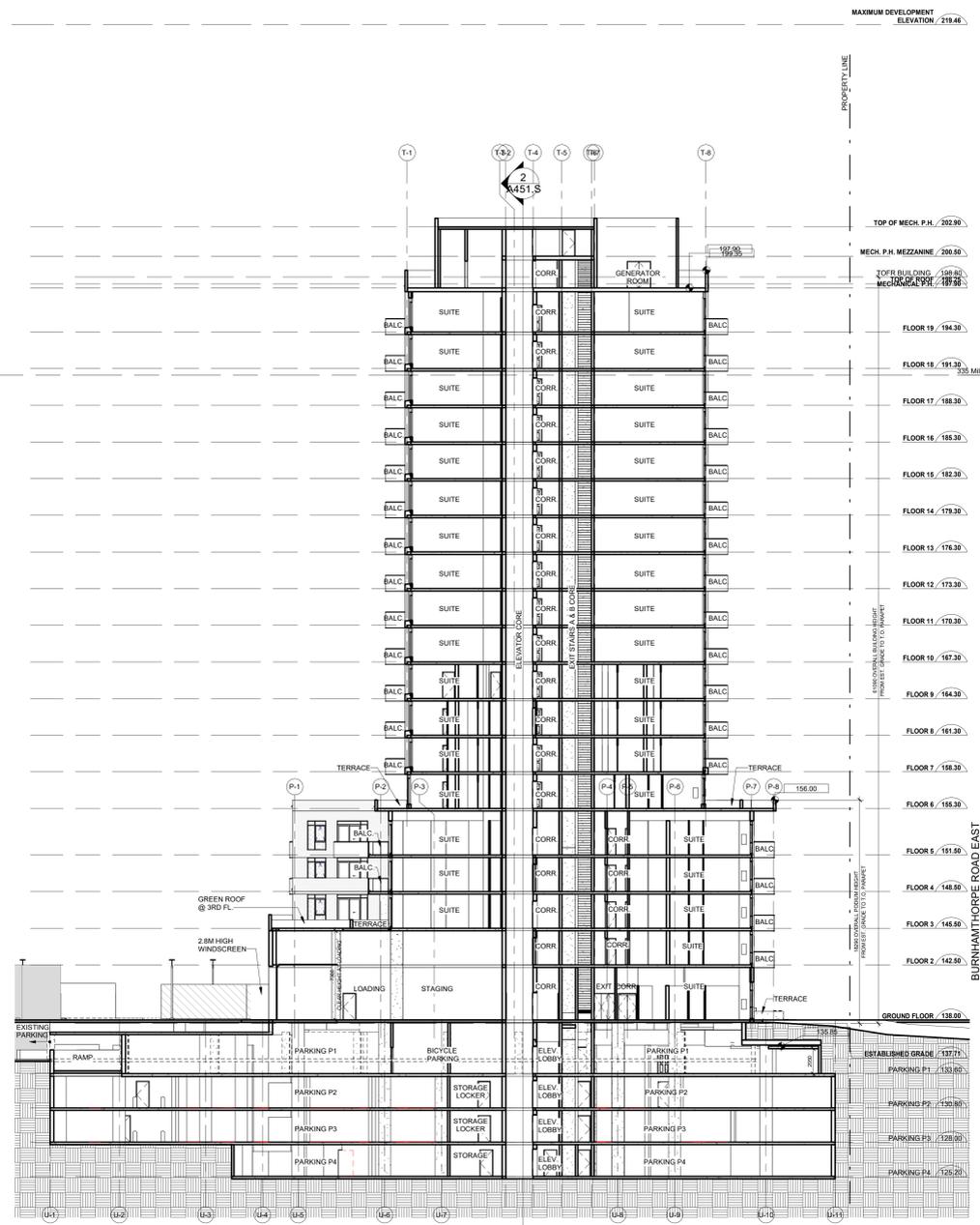
16019 1:50 PN HT
PROJECT SCALE DRAWN REVIEWED

1-50 COLOURED ELEVATION

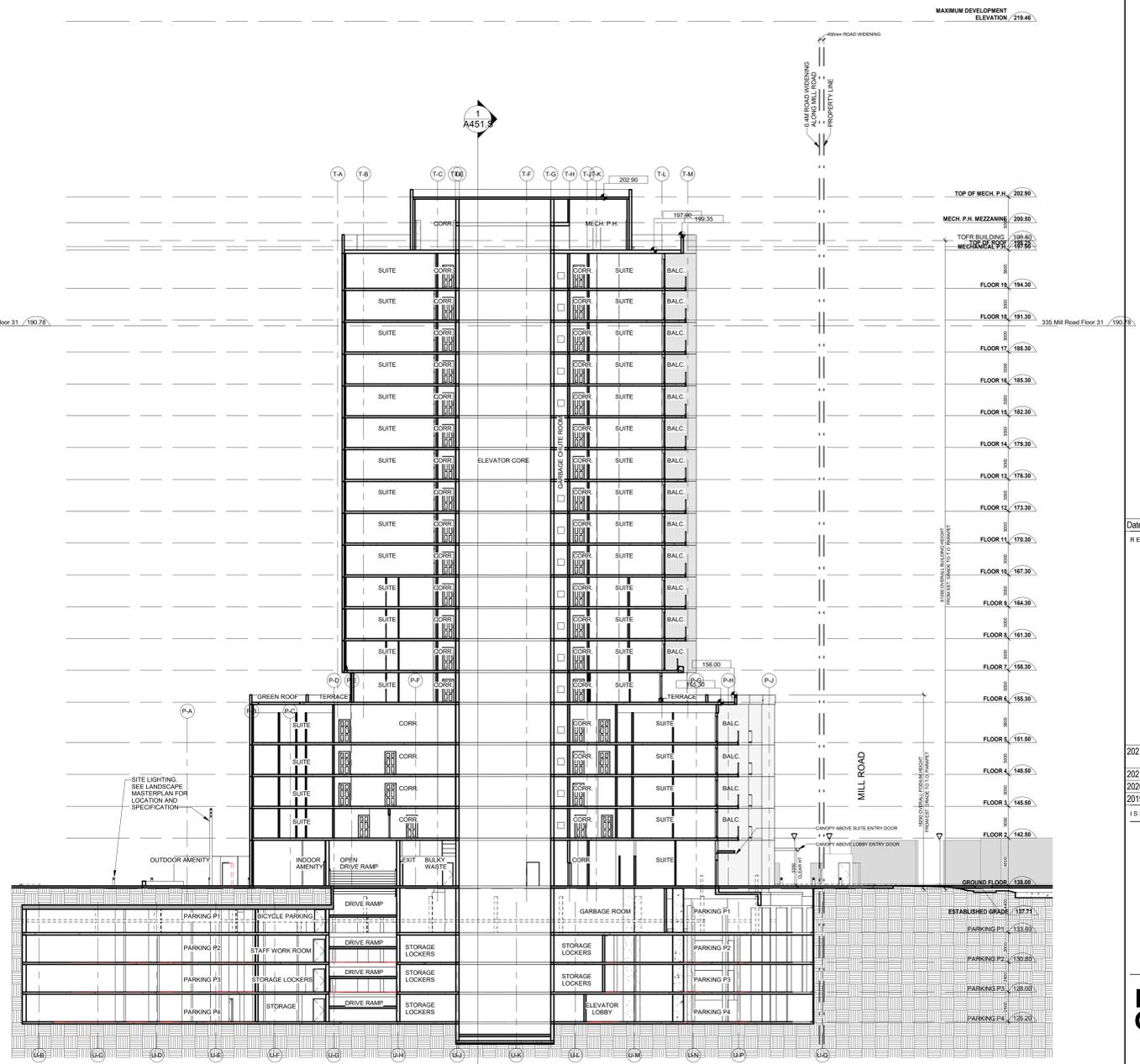
A403.S

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1 EAST ELEVATION
A403.S



1 NORTH-SOUTH SECTION
SCALE: 1:200



2 EAST-WEST SECTION
SCALE: 1:200

Date	No.	Description
REVISION RECORD		
2021-12-14		Site Plan Control Application Resubmission
2021-02-01		Site Plan Control Application
2020-08-12		Rezoning Application Resubmission
2019-05-17		Rezoning Application
ISSUE RECORD		



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16019 As indicated PN HT
PROJECT SCALE DRAWN REVIEWED

BUILDING SECTIONS

A451.S

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