



Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1240 www.quadrangle.ca



63-73 Widdicombe Hill Boulevard

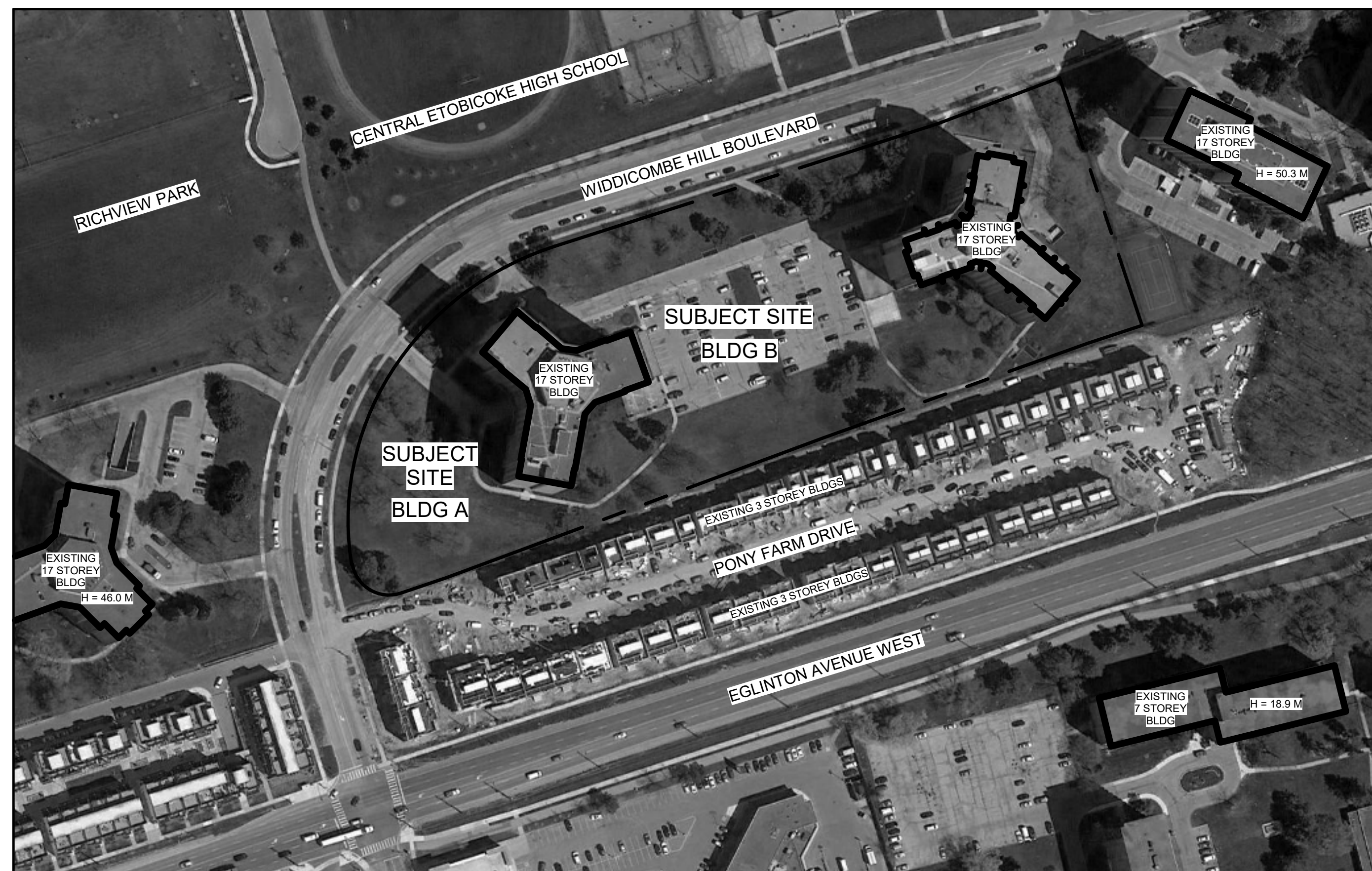
Toronto, ON

for
FRASMET HOLDINGS LIMITED

Project No. 17036
Date 10 May 2019
Issued for Rezoning Application

ARCHITECTURAL DRAWINGS

A000	COVER PAGE
A100	SITE STATISTICS
A101	SITE PLAN
A151	UNDERGROUND PARKING LEVEL P2 - PARTIAL - WEST
A152	UNDERGROUND PARKING LEVEL P2 - PARTIAL - EAST
A153	UNDERGROUND PARKING LEVEL P1 - PARTIAL - WEST
A154	UNDERGROUND PARKING LEVEL P1 - PARTIAL - EAST
A201.AA	GROUND FLOOR PLAN - BUILDING A
A202.AA	PLAN OF FLOOR 2 - BUILDING A
A203.AA	PLAN OF FLOOR 3 - BUILDING A
A204.AA	PLAN OF FLOOR 4 - BUILDING A
A205.AA	PLAN OF TYPICAL FLOORS 5TH TO 6TH - BUILDING A
A206.AA	PLAN OF FLOOR 7 - BUILDING A
A207.AA	PLAN OF TYPICAL FLOORS 8TH TO 9TH - BUILDING A
A208.AA	ROOF PLAN - BUILDING A
A201.BB	GROUND FLOOR - BUILDING B
A202.BB	PLAN OF FLOOR 2 - BUILDING B
A203.BB	PLAN OF TYPICAL FLOORS 3RD TO 6TH - BUILDING B
A205.BB	PLAN OF FLOOR 7 - BUILDING B
A206.BB	PLAN OF TYPICAL FLOOR 8TH TO 18TH - BUILDING B
A208.BB	ROOF PLAN - BUILDING B
A401	NORTH AND SOUTH ELEVATIONS
A402	EAST AND WEST ELEVATIONS
A451	BUILDING SECTIONS



2 Key Plan
A101 1:1500



3 Site Context
A101 NTS

ELEVATION NOTE
 1. ALL ELEVATIONS ARE BASED ON THE MEAN SEA LEVEL DATUM OF 1985.
 2. ALL ELEVATIONS ARE BASED ON THE MEAN SEA LEVEL DATUM OF 1985.
 3. ALL ELEVATIONS ARE BASED ON THE MEAN SEA LEVEL DATUM OF 1985.
 4. ALL ELEVATIONS ARE BASED ON THE MEAN SEA LEVEL DATUM OF 1985.

BEARING NOTE
 1. ALL BEARINGS ARE GIVEN AS TRUE BEARINGS.
 2. ALL BEARINGS ARE GIVEN AS TRUE BEARINGS.
 3. ALL BEARINGS ARE GIVEN AS TRUE BEARINGS.
 4. ALL BEARINGS ARE GIVEN AS TRUE BEARINGS.

METRIC
 1. ALL DIMENSIONS ARE IN METRES.
 2. ALL DIMENSIONS ARE IN METRES.
 3. ALL DIMENSIONS ARE IN METRES.
 4. ALL DIMENSIONS ARE IN METRES.

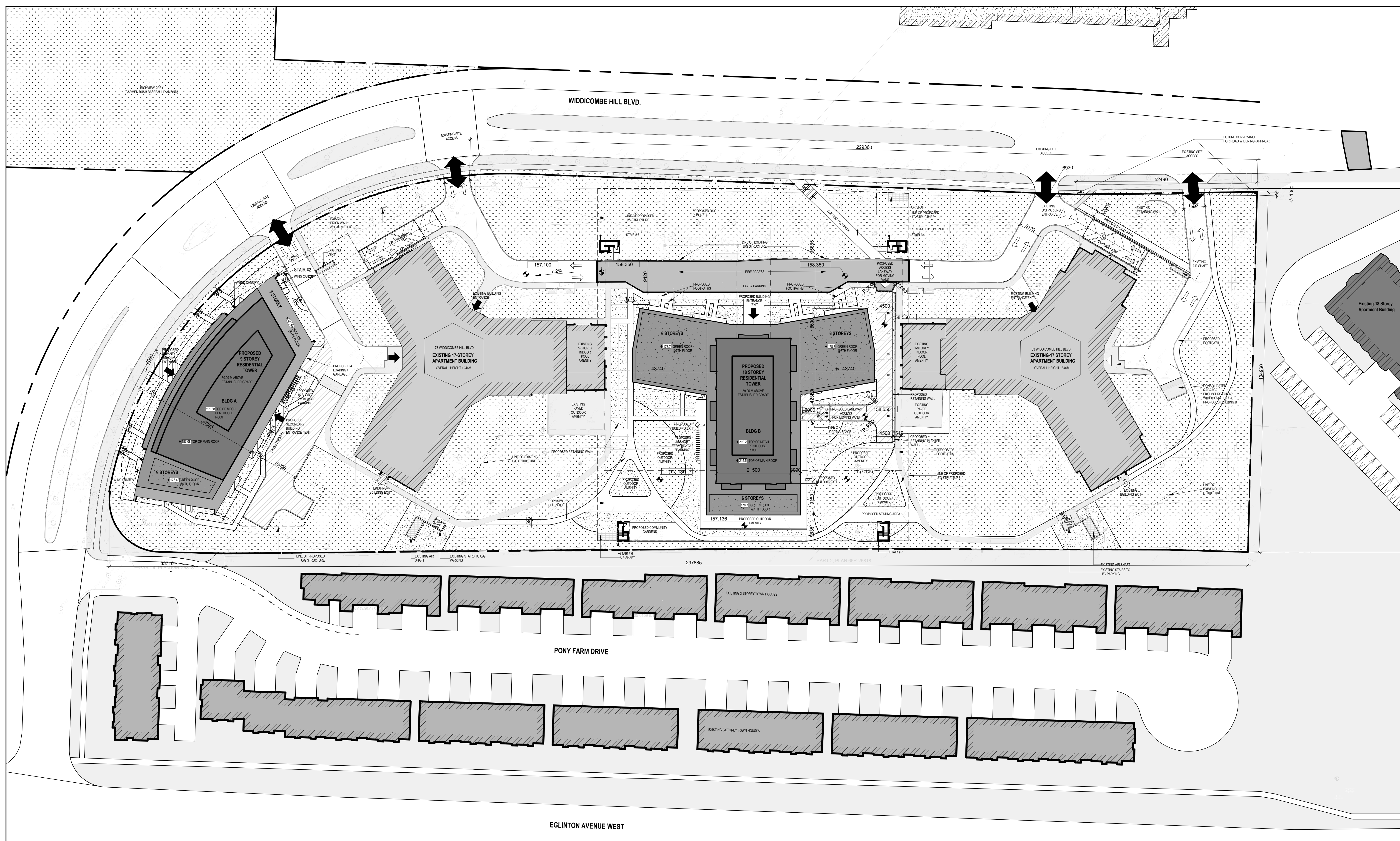
LEGEND

---	PROPERTY LINE
---	LINE OF UNDERGROUND GARAGE BELOW
←	MAIN BUILDING ENTRANCE
←	SECONDARY ENTRANCE
↔	EXIT
↔	VEHICLE / LOADING ENTRANCE / EXIT
⊕	FIRE HYDRANT
⊕	SIAMENSE CONNECTION
⊕	MANHOLE COVER
⊕	AREA DRAIN
⊕	CATCH BASIN
⊕	EXISTING LIGHT
F.F.E.	FINISH FLOOR ELEVATION
00000	EXISTING ELEVATION
00000	PROPOSED ELEVATION
00000	TOP OF ROOF
█	EXISTING
□	SOO
▨	PLANTING
▨	LOCKSTONE PAVING

SURVEYOR'S CERTIFICATE
 I, the undersigned, being a duly qualified and licensed Surveyor in the Province of Ontario, do hereby certify that the foregoing is a true and correct copy of the original plan as deposited in my office on the 15th day of 05/2023.

SPRODIT, VAN NOSTRAND & GIBSON LIMITED
 100 DUNDAS STREET WEST, SUITE 1000
 TORONTO, ONTARIO M5G 1C8
 TEL: 416 593-8888 FAX: 416 593-7888
 E-MAIL: info@sprd.com

2 Legend (Topographic) & Survey Information
A101



1 Site Plan
SCALE: 1:500

REVISION RECORD

NO.	DATE	DESCRIPTION

ISSUE RECORD

NO.	DATE	DESCRIPTION

Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T: 416.598.1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
 Toronto, ON
 for FRASMET HOLDINGS LIMITED

17036 As indicated JF HT
 PROJECT SCALE DRAWN REVIEWED

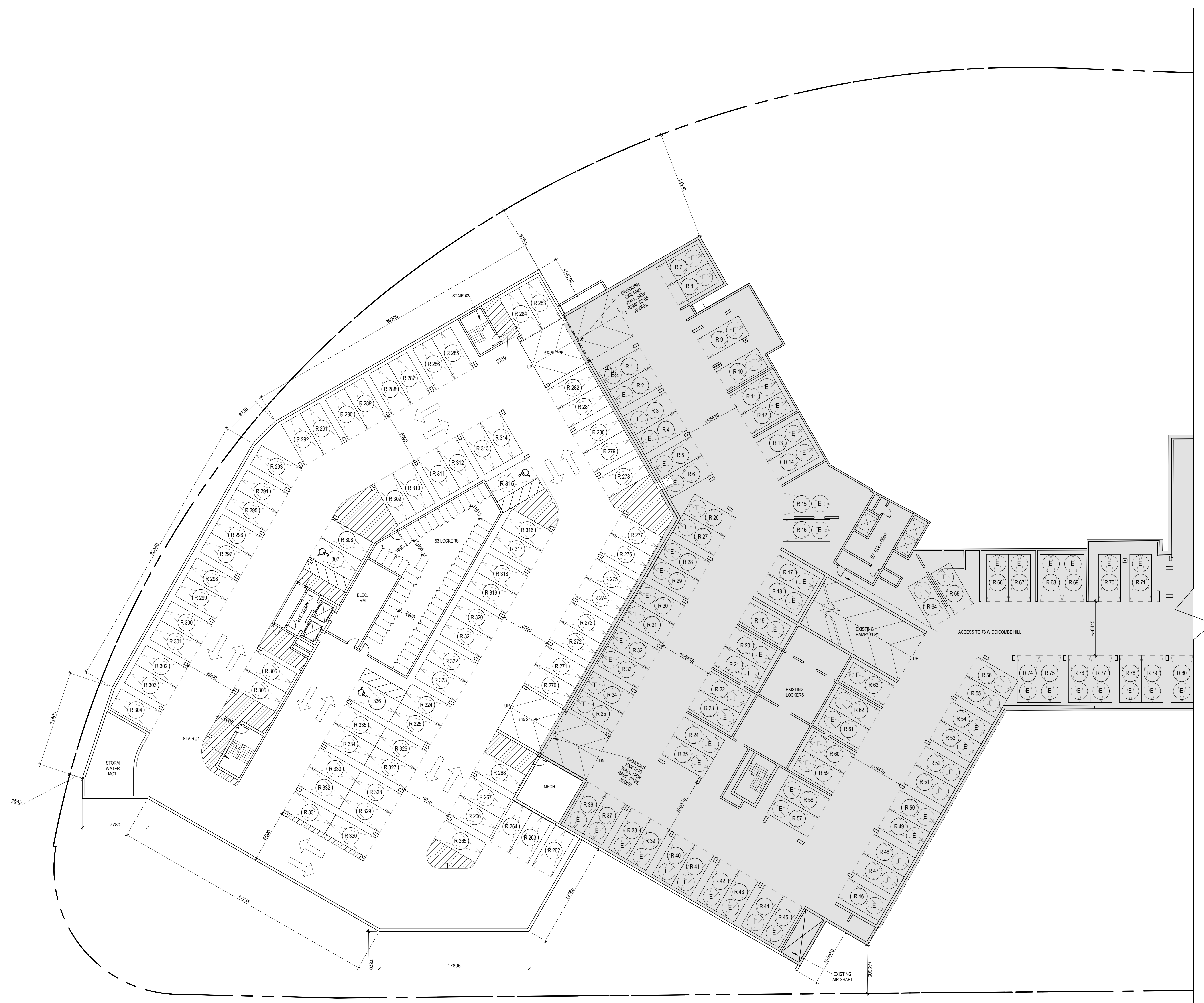
SITE PLAN

A101

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other consultant prior to commencing work.

C:\Users\jgibson\OneDrive\Desktop\63-73 Widdicombe Hill Boulevard_PAVING_DRAWING_DRAWING_01.dwg 21/05/2023 10:58:31 AM

2023-05-23 10:58:31 AM



PARKING NOTES:
 1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 2000mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED)
 2000mm WIDE X 5600mm LONG (ONE SIDE OBSTRUCTED)
 3000mm WIDE X 5600mm LONG (TWO SIDES OBSTRUCTED)
 2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED
 3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

PARKING LEGEND:
 (P) PARKING SPACE
 R-RESIDENTIAL PARKING
 V-VISITOR PARKING
 E-EXISTING PARKING
 L-ELEV PARKING
 EV-ELECTRIC VEHICLE SUPPLY PARKING

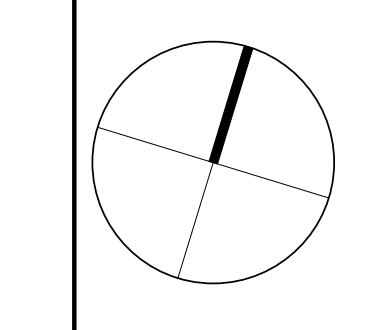
TYPICAL
 ONE SIDE OBSTRUCTED
 PARALLEL PARKING

ACCESSIBLE VISITOR - TYPE A
 ACCESSIBLE VISITOR - TYPE B

EXISTING
 PEDESTRIAN AISLES

REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T: 416.598.1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
 Toronto, ON

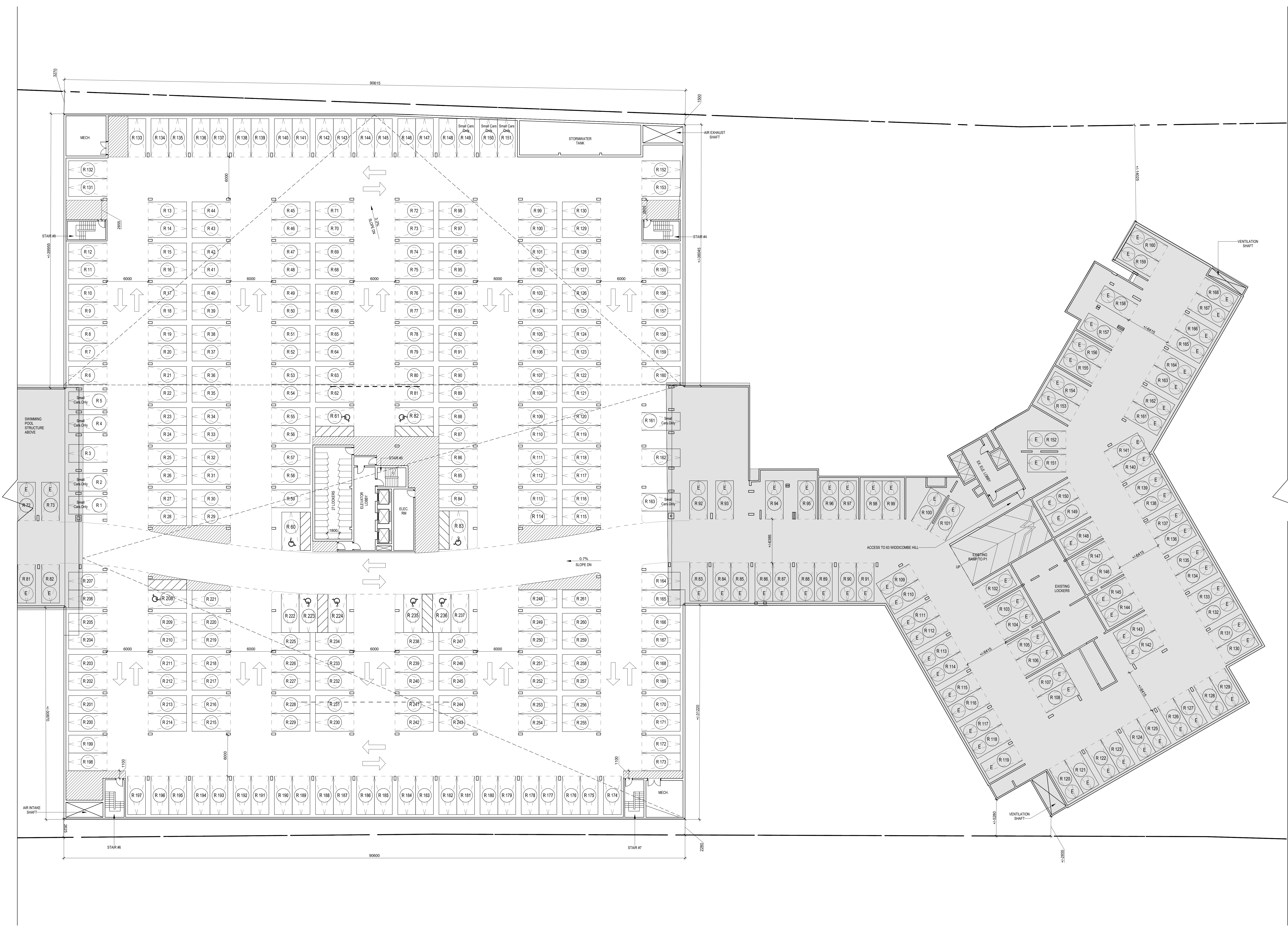
for
FRASMET HOLDINGS LIMITED

17036 1:200 JF HT
 PROJECT SCALE DRAWN REVIEWED

UNDERGROUND PARKING
 LEVEL P2 - PARTIAL - WEST

A151

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other consultation prior to commencing work.



PARKING NOTES:
 1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 2000mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED)
 2000mm WIDE X 5600mm LONG (ONE SIDE OBSTRUCTED)
 3000mm WIDE X 5600mm LONG (TWO SIDES OBSTRUCTED)
 2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED
 3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

PARKING LEGEND:
 (P) PARKING SPACE
 R-RESIDENTIAL PARKING
 V-VISITOR PARKING
 E-EXISTING PARKING
 L-LEVEL PARKING
 EV-ELECTRIC VEHICLE SUPPLY PARKING

TYPICAL
 2000 X 5600
 2000 X 5600
 3000 X 5600

ONE SIDE OBSTRUCTED
 2000 X 5600
 2000 X 5600

PARALLEL PARKING
 2000 X 5600
 2000 X 5600

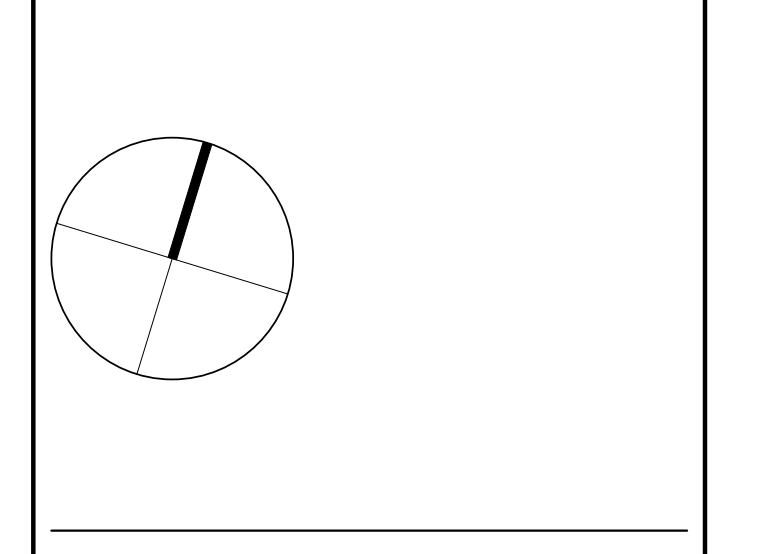
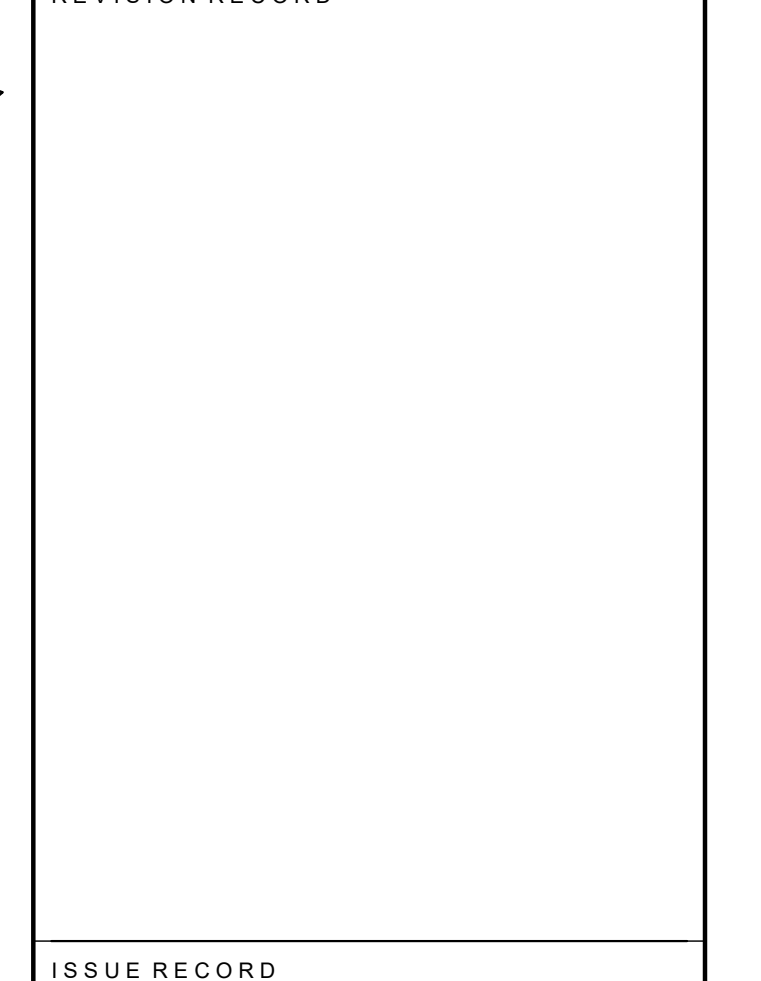
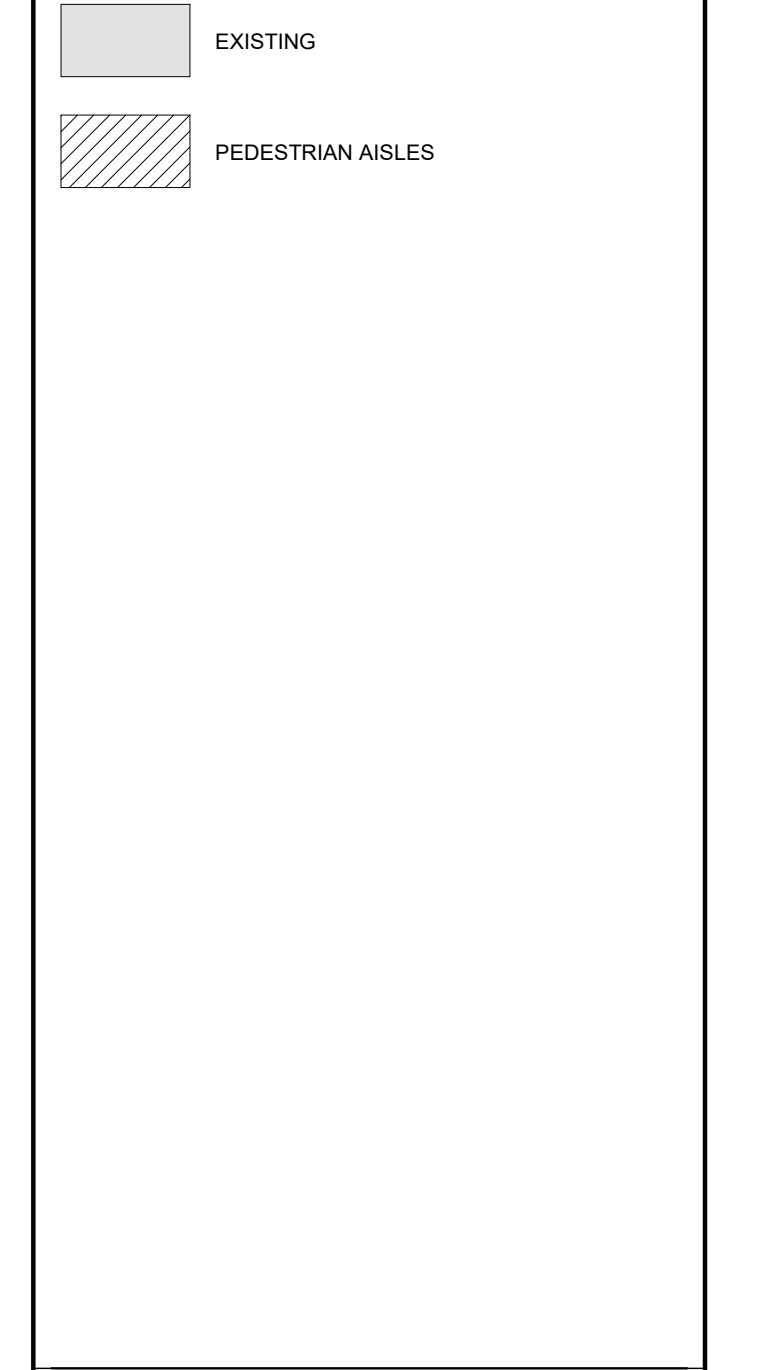
ACCESSIBLE
 2000 X 5600
 2000 X 5600

ACCESSIBLE VISITOR - TYPE A
 2000 X 5600
 2000 X 5600

ACCESSIBLE VISITOR - TYPE B
 2000 X 5600
 2000 X 5600

EXISTING
 (shaded area)

PEDESTRIAN AISLES
 (hatched area)



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
 Toronto, ON

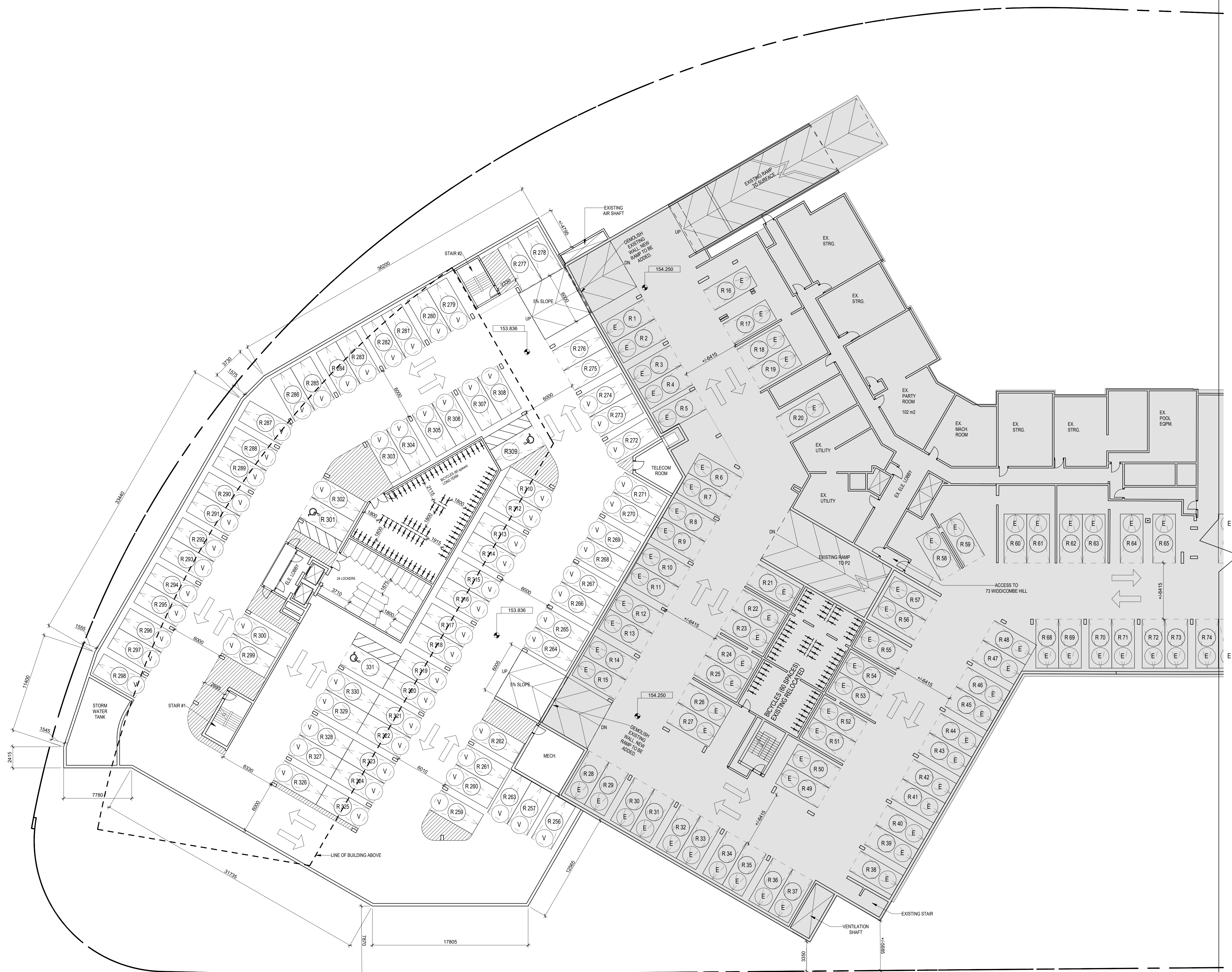
for
FRASMET HOLDINGS LIMITED

17036 1:200 JF HT
 PROJECT SCALE DRAWN REVIEWED

**UNDERGROUND PARKING
 LEVEL P2 - PARTIAL - EAST**

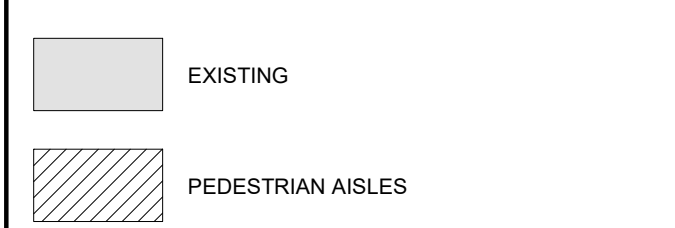
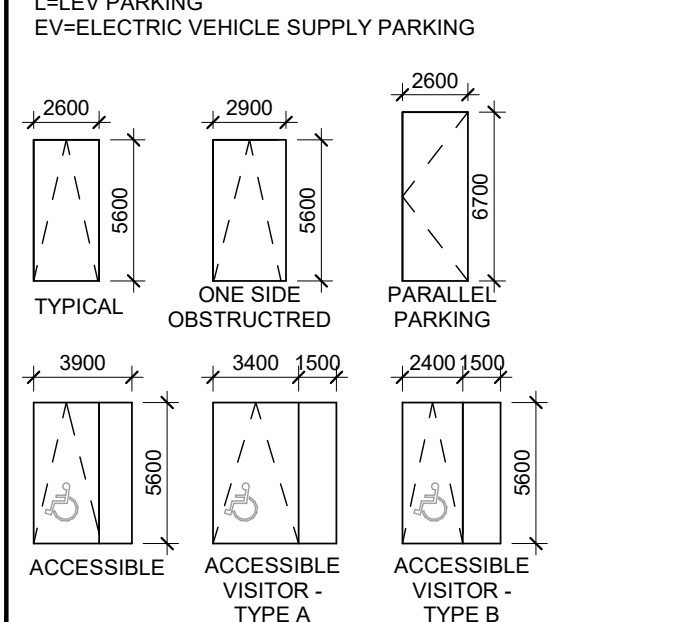
A152

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other consultation prior to commencing work.



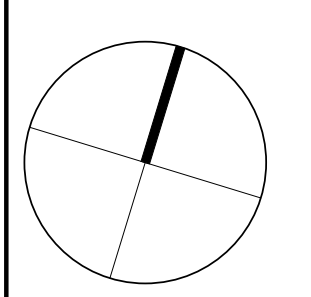
PARKING NOTES:
 1. UNLESS OTHERWISE NOTED, PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 2000mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED)
 2000mm WIDE X 5600mm LONG (ONE SIDE OBSTRUCTED)
 3000mm WIDE X 5600mm LONG (TWO SIDES OBSTRUCTED)
 2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED
 3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT.

PARKING LEGEND:
 (P) PARKING SPACE
 R-RESIDENTIAL PARKING
 V-VISITOR PARKING
 E-EXISTING PARKING
 L-LEVEL PARKING
 EV-ELECTRIC VEHICLE SUPPLY PARKING



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T: 416.598.1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
 Toronto, ON

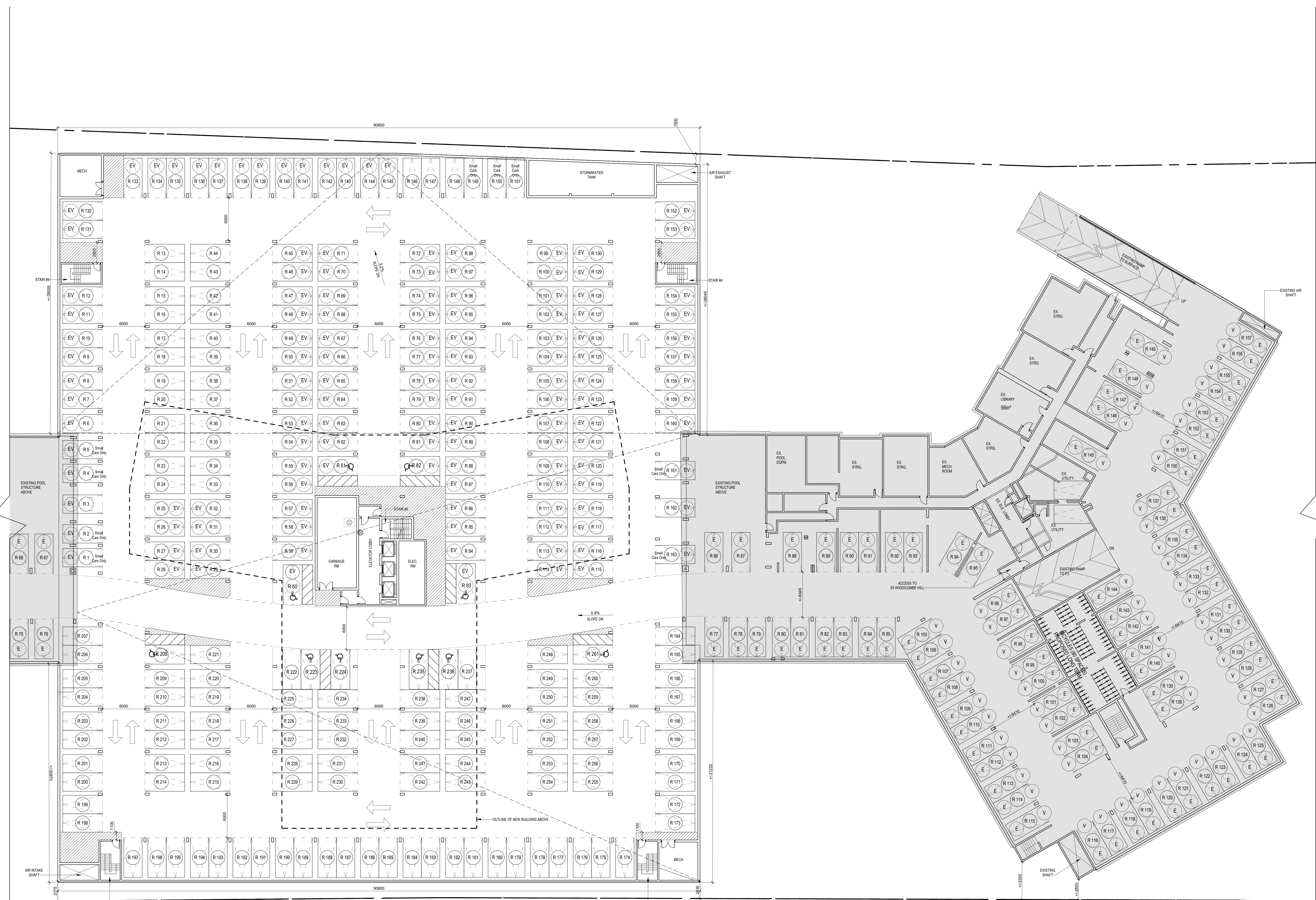
for
FRASMET HOLDINGS LIMITED

17036 1:200 JF HT
 PROJECT SCALE DRAWN REVIEWED

UNDERGROUND PARKING
 LEVEL P1 - PARTIAL - WEST

A153

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other consultation prior to commencing work.



PARKING NOTES:
 1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):
 2500mm WIDE X 5600mm LONG (NO SIDES OBSTRUCTED)
 2500mm WIDE X 5600mm LONG (ONE SIDE OBSTRUCTED)
 3000mm WIDE X 5600mm LONG (TWO SIDES OBSTRUCTED)
 2. MAINTAIN MINIMUM DRIVE AISLE WIDTH OF 6000mm UNLESS OTHERWISE NOTED
 3. MAINTAIN MINIMUM HEADROOM CLEARANCE OF 2100mm THROUGHOUT

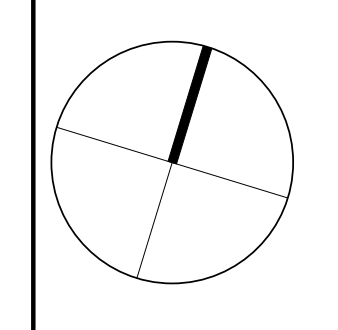
PARKING LEGEND:
 (P) PARKING SPACE
 R-RESIDENTIAL PARKING
 V-VISITOR PARKING
 E-EXISTING PARKING
 L-EV PARKING
 EV-ELECTRIC VEHICLE SUPPLY PARKING

TYPICAL
 ONE SIDE OBSTRUCTED
 PARALLEL PARKING
 ACCESSIBLE VISITOR - TYPE A
 ACCESSIBLE VISITOR - TYPE B

EXISTING
 PEDESTRIAN AISLES

REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard

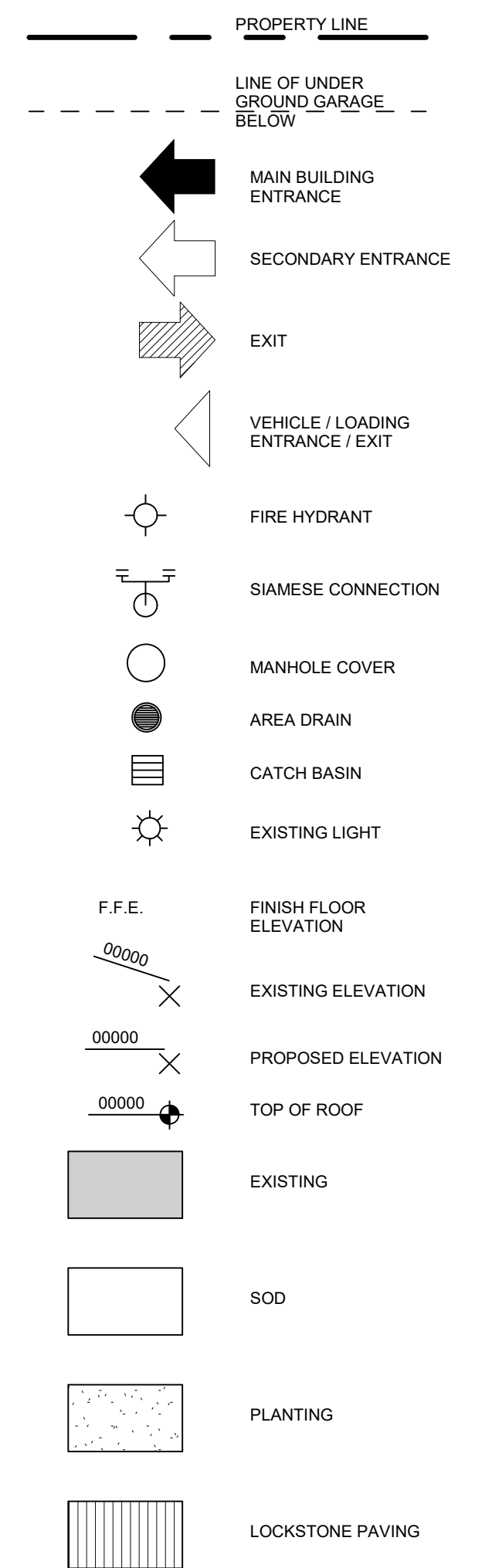
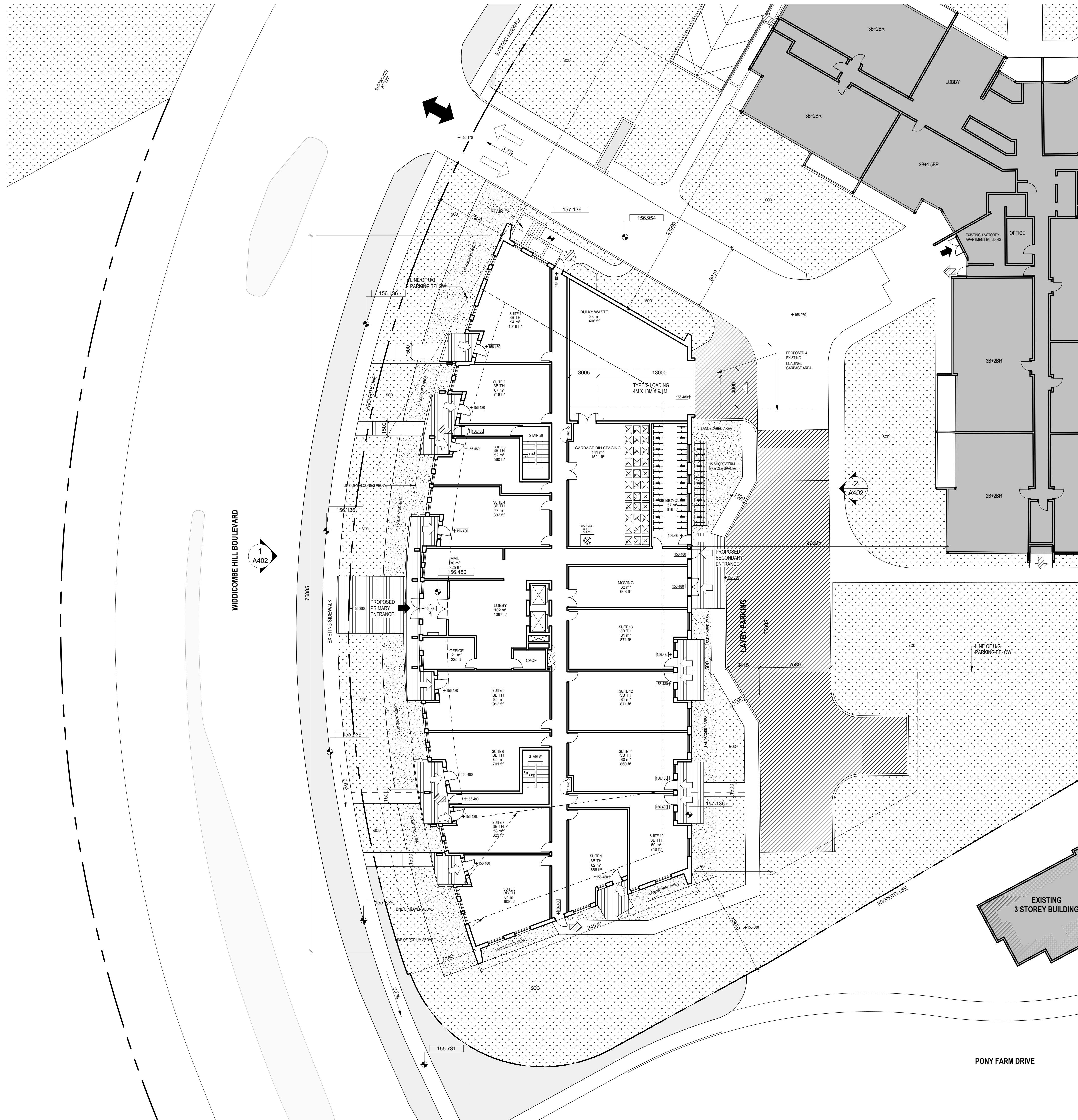
Toronto, ON
 for
FRASMET HOLDINGS LIMITED

17036 1:200 JF HT
 PROJECT SCALE DRAWN REVIEWED

UNDERGROUND PARKING
 LEVEL P1 - PARTIAL - EAST

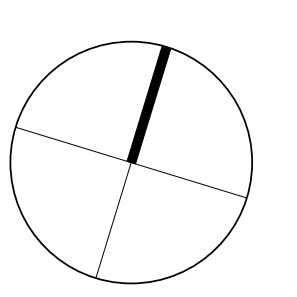
A154

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other consultant prior to commencing work.



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t: 416.596.1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard

Toronto, ON
for
FRASMET HOLDINGS LIMITED

17036 As indicated JF HT
PROJECT SCALE DRAWN REVIEWED

GROUND FLOOR PLAN -
BUILDING A

A201.AA

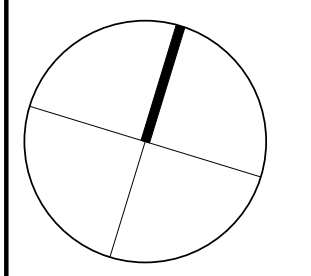
Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other consultation prior to commencing work.

Client: Project: A201_AA_17036_63-73 Widdicombe Hill Boulevard_Parking_DWG_2017_11/14/2017



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
T 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
Toronto, ON

for
FRASMET HOLDINGS LIMITED

17036 1:200 Auto/Checker
PROJECT SCALE DRAWN REVIEWED

GROUND FLOOR - BUILDING B

A201.BB

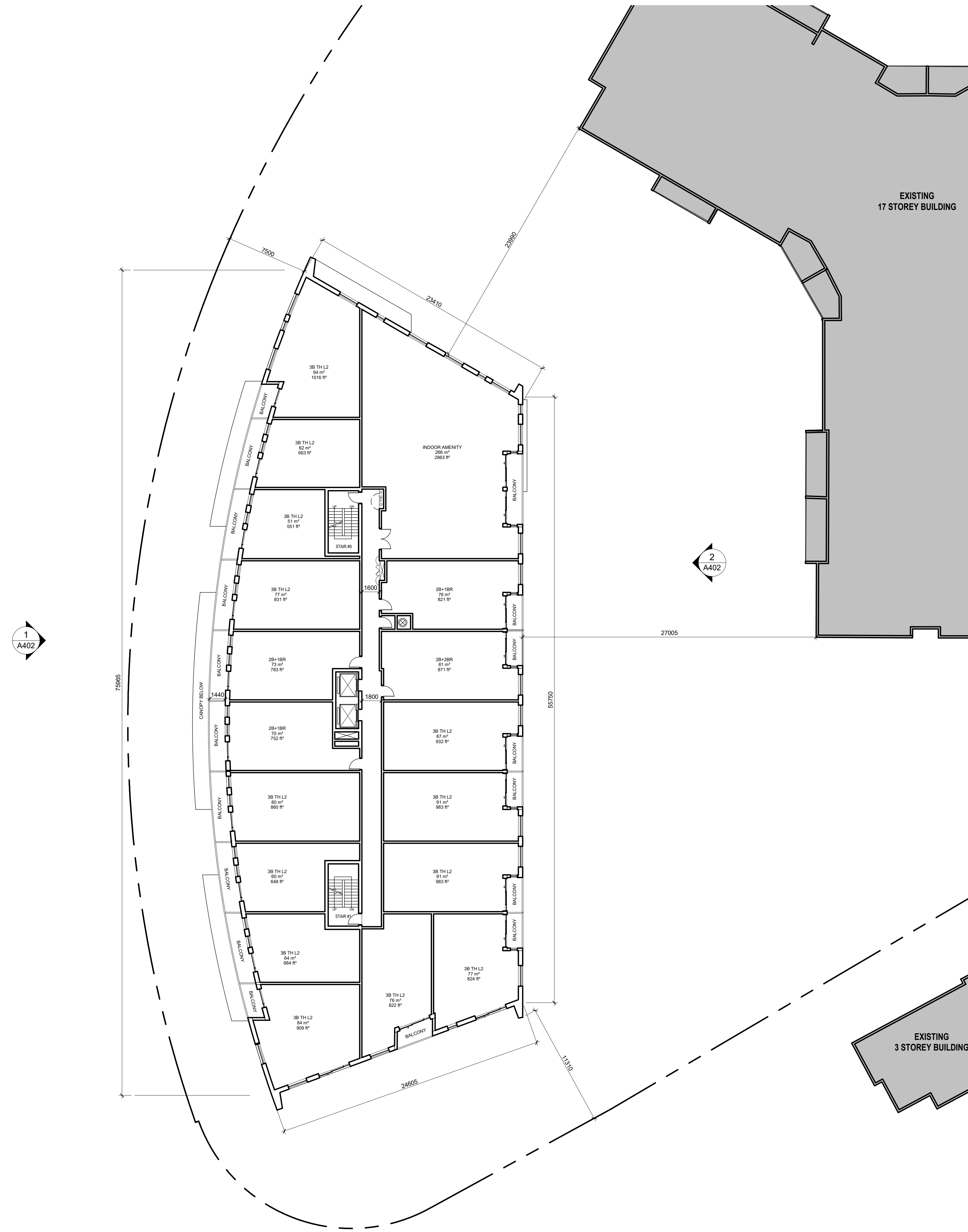
Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other consultation prior to commencing work.

C:\drive\project\A201_BB_63-73 Widdicombe Hill Boulevard_PARKING_0107_2111\main\A201.BB.rvt

1
A201.BB B - Level 1

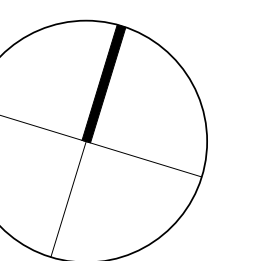
2018-06-14 11:28:37 AM

1
A202.AA
Plan of Floor 2 - Building A



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t: 416.598.1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard

Toronto, ON

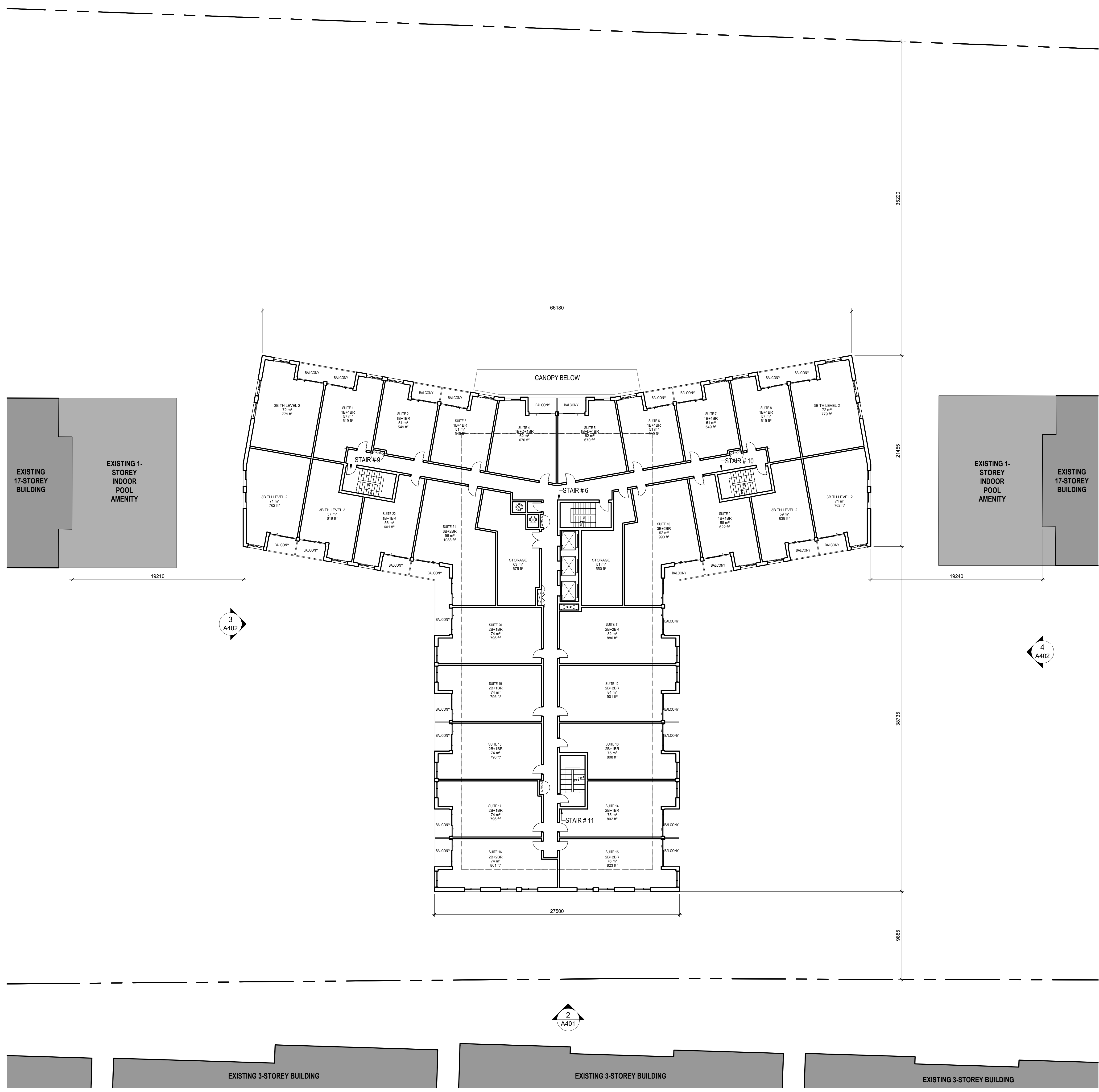
for
FRASMET HOLDINGS LIMITED

17036 1 : 200 JF HT
PROJECT SCALE DRAWN REVIEWED

PLAN OF FLOOR 2 - BUILDING
A

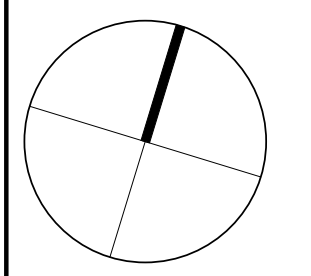
A202.AA

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions, and shall report all discrepancies to the Architect and other consultation prior to commencing work.



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
 Toronto, ON

for
FRASMET HOLDINGS LIMITED

17036 1 : 200 AutoChecker
 PROJECT SCALE DRAWN REVIEWED

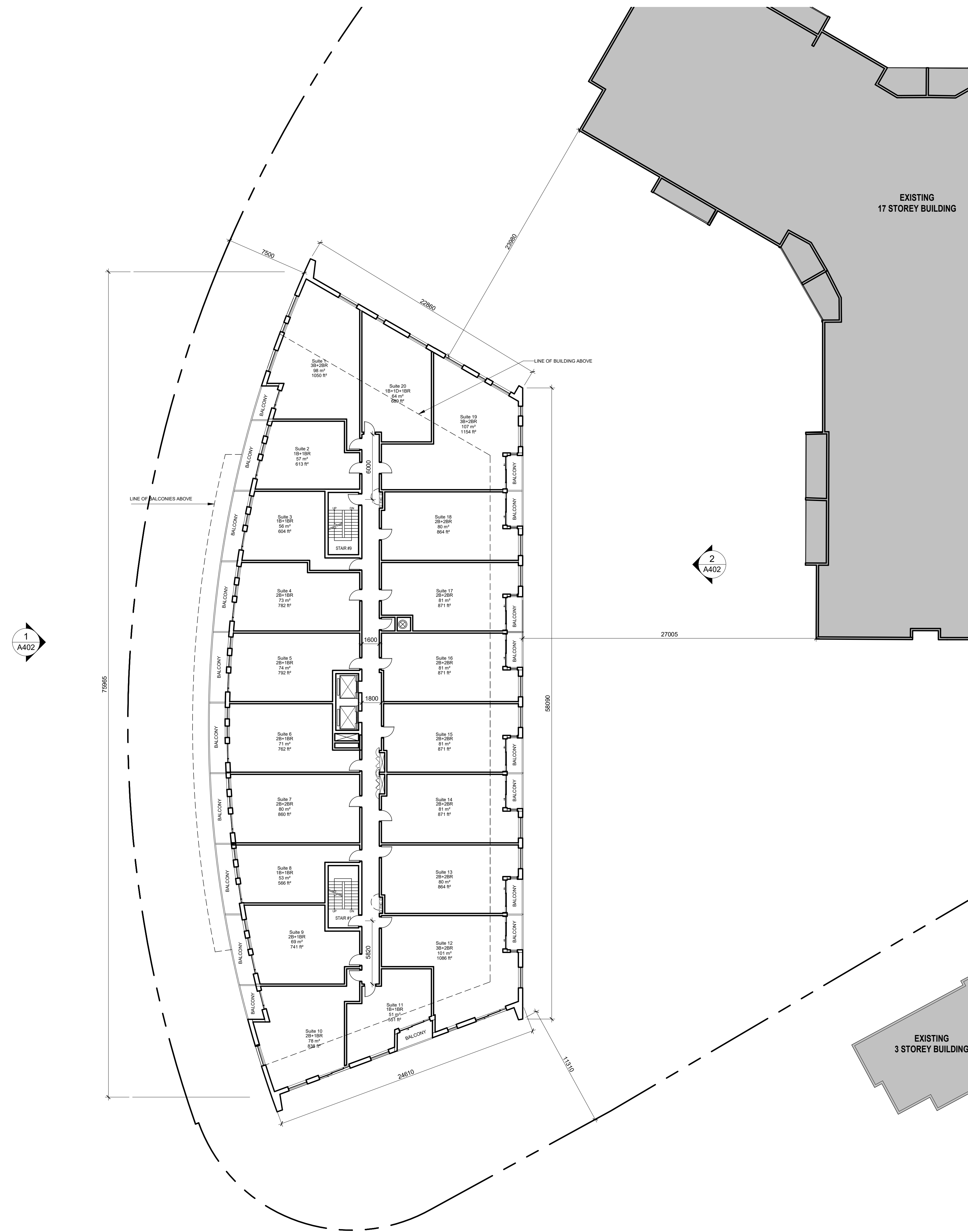
PLAN OF FLOOR 2 - BUILDING
 B

A202.BB

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other consultation prior to commencing work.

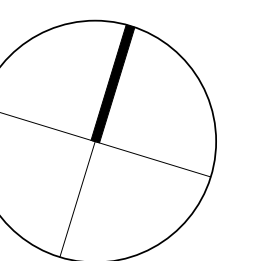
C:\drive\project\AR_17036_63-73 Widdicombe Hill Boulevard_PARKING_2017_21\main\A203.AA

Plan of Floor 3 - Building A



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 t: 416.598.1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard

Toronto, ON

for FRASMET HOLDINGS LIMITED

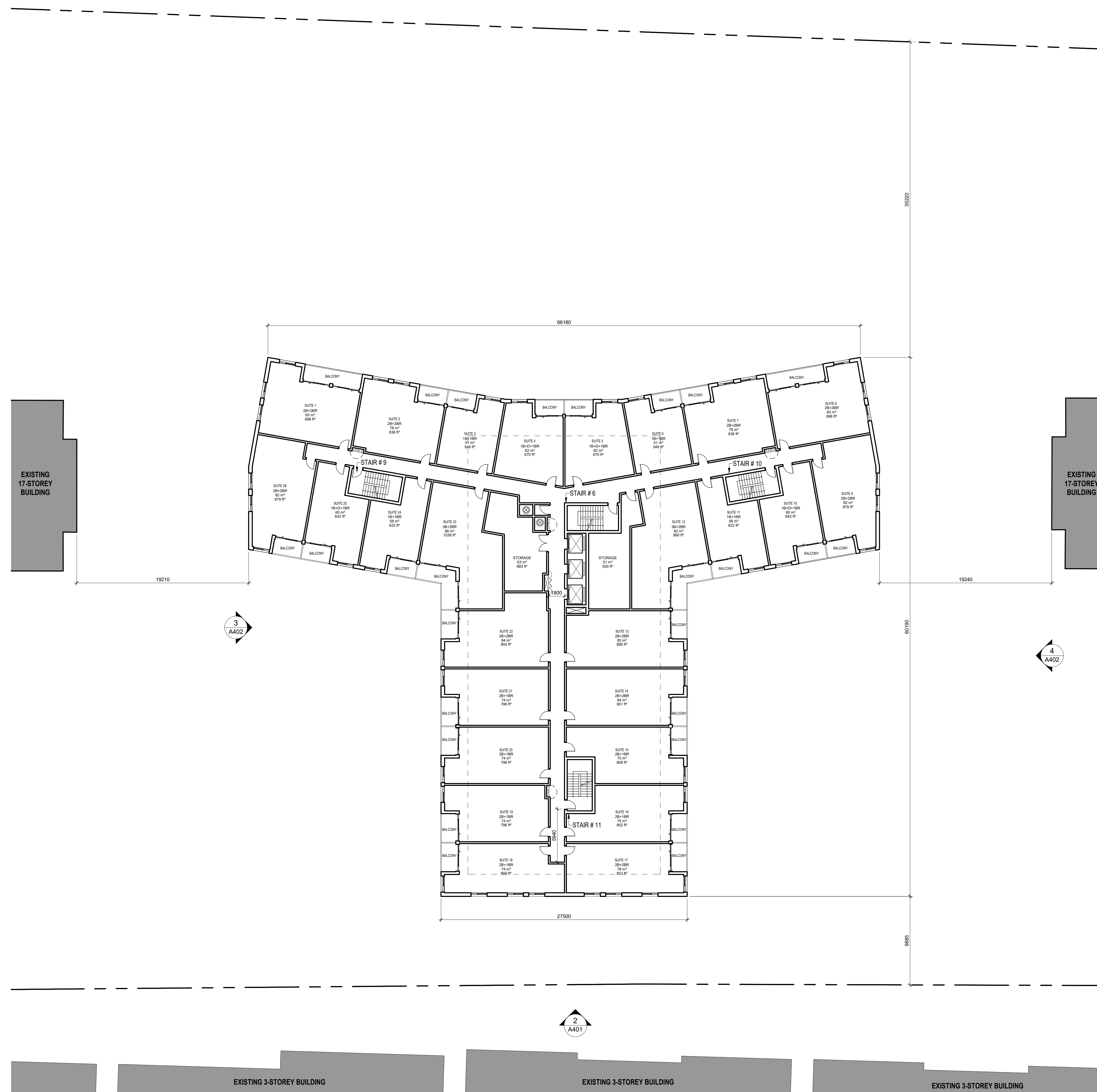
17036 1 : 200 JF HT
 PROJECT SCALE DRAWN REVIEWED

PLAN OF FLOOR 3 - BUILDING A

A203.AA

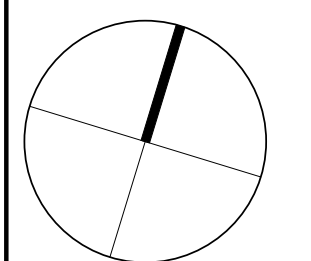
Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other certification prior to commencing work.

2016-06-03 03:10:08 PM



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
 Toronto, ON

for
FRASMET HOLDINGS LIMITED

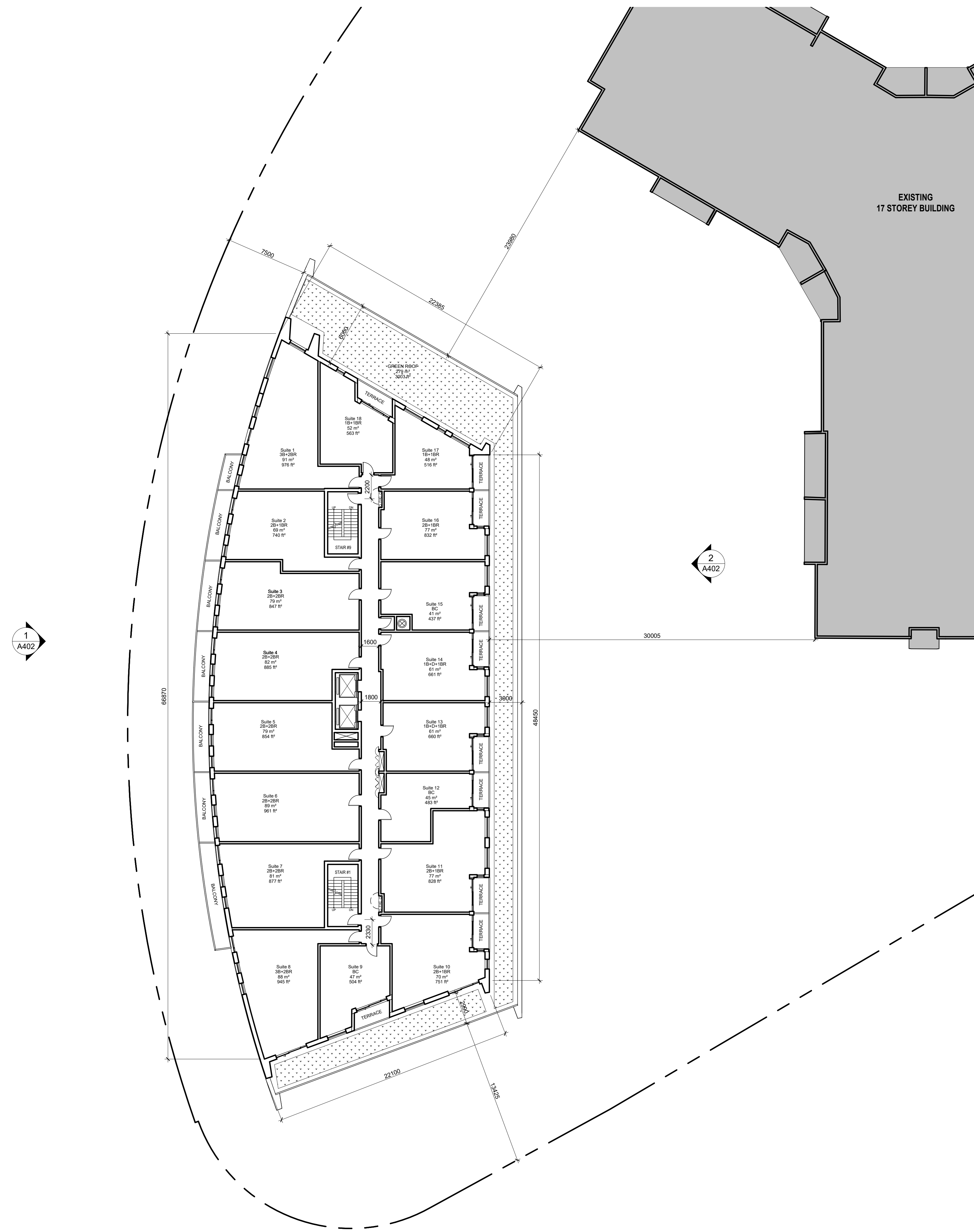
17036 1 : 200 AutoChecker
 PROJECT SCALE DRAWN REVIEWED

PLAN OF TYPICAL FLOORS
 3RD TO 6TH - BUILDING B

A203.BB

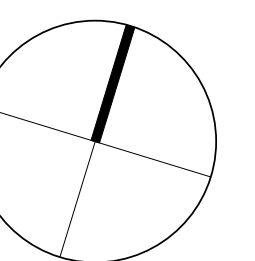
Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other certification prior to commencing work.

C:\drive\project\DAL_AR_17036_63 73 Widdicombe Hill Boulevard_PAVING_2017_2\Drawings\CEL18.rvt



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t 416 598 1040 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
Toronto, ON

for **FRASMET HOLDINGS LIMITED**

17036 1 : 200 JF HT
PROJECT SCALE DRAWN REVIEWED

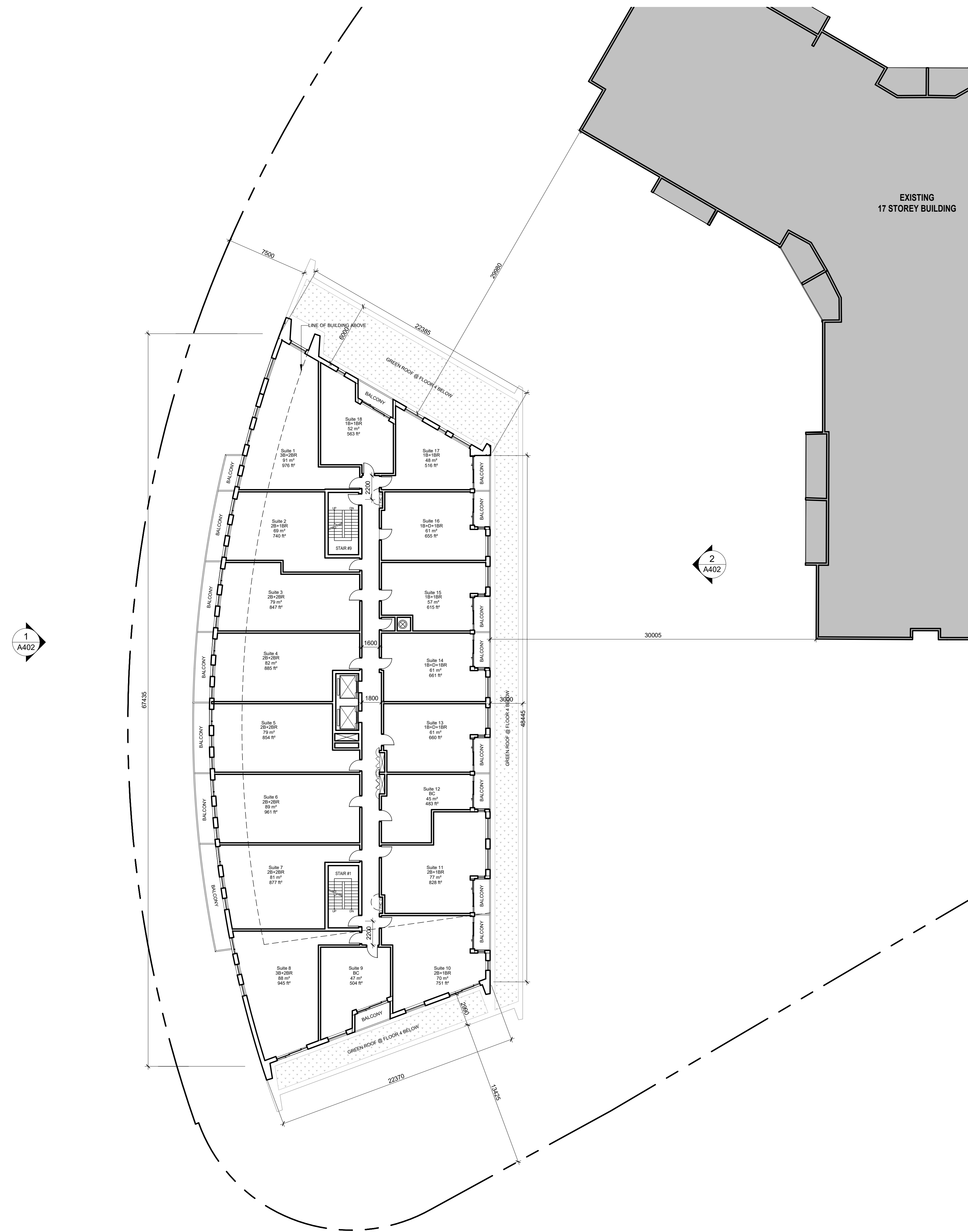
PLAN OF FLOOR 4 - BUILDING A

A204-AA

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other certification prior to commencing work.

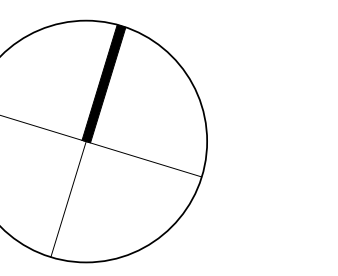
C:\drive\project\A205_AA_17036_63-73 Widdicombe Hill Boulevard_PARKING_2017_21\main\A205_AA.rvt

1
A205.AA Plan of Typical Floor 5th to 6th - Building A



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
 Toronto, ON

for
FRASMET HOLDINGS LIMITED

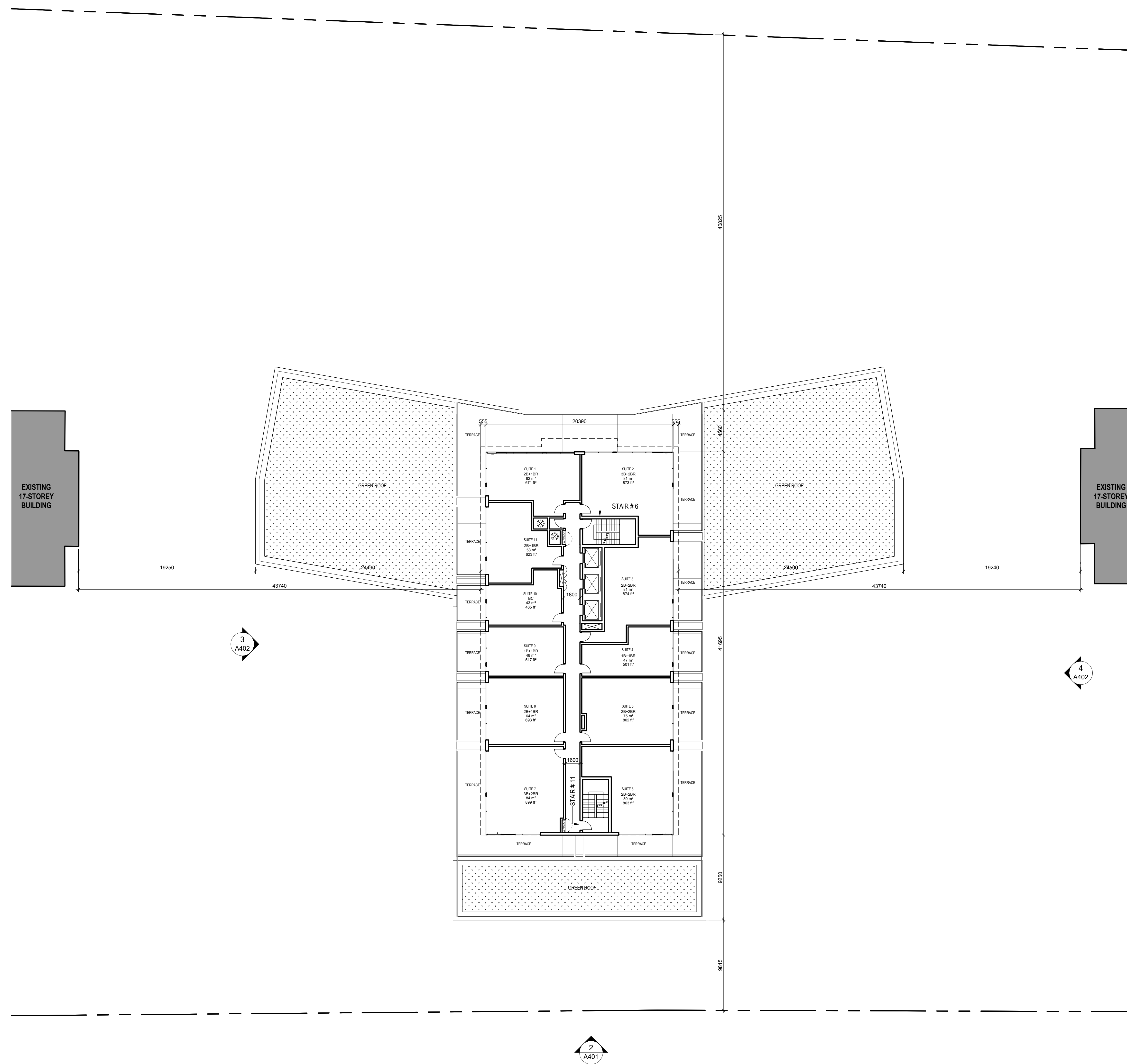
17036 1 : 200 JF HT
 PROJECT SCALE DRAWN REVIEWED

PLAN OF TYPICAL FLOORS
 5TH TO 6TH - BUILDING A

A205.AA

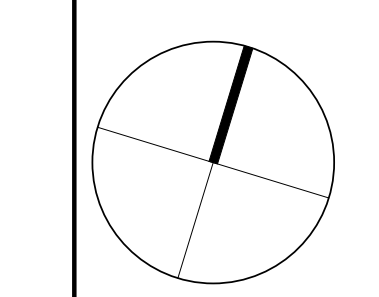
Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

2016-06-03 5:31:15 PM



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
 Toronto, ON

for
FRASMET HOLDINGS LIMITED

17036 1 : 200 AutoChecker
 PROJECT SCALE DRAWN REVIEWED

PLAN OF FLOOR 7 - BUILDING
 B

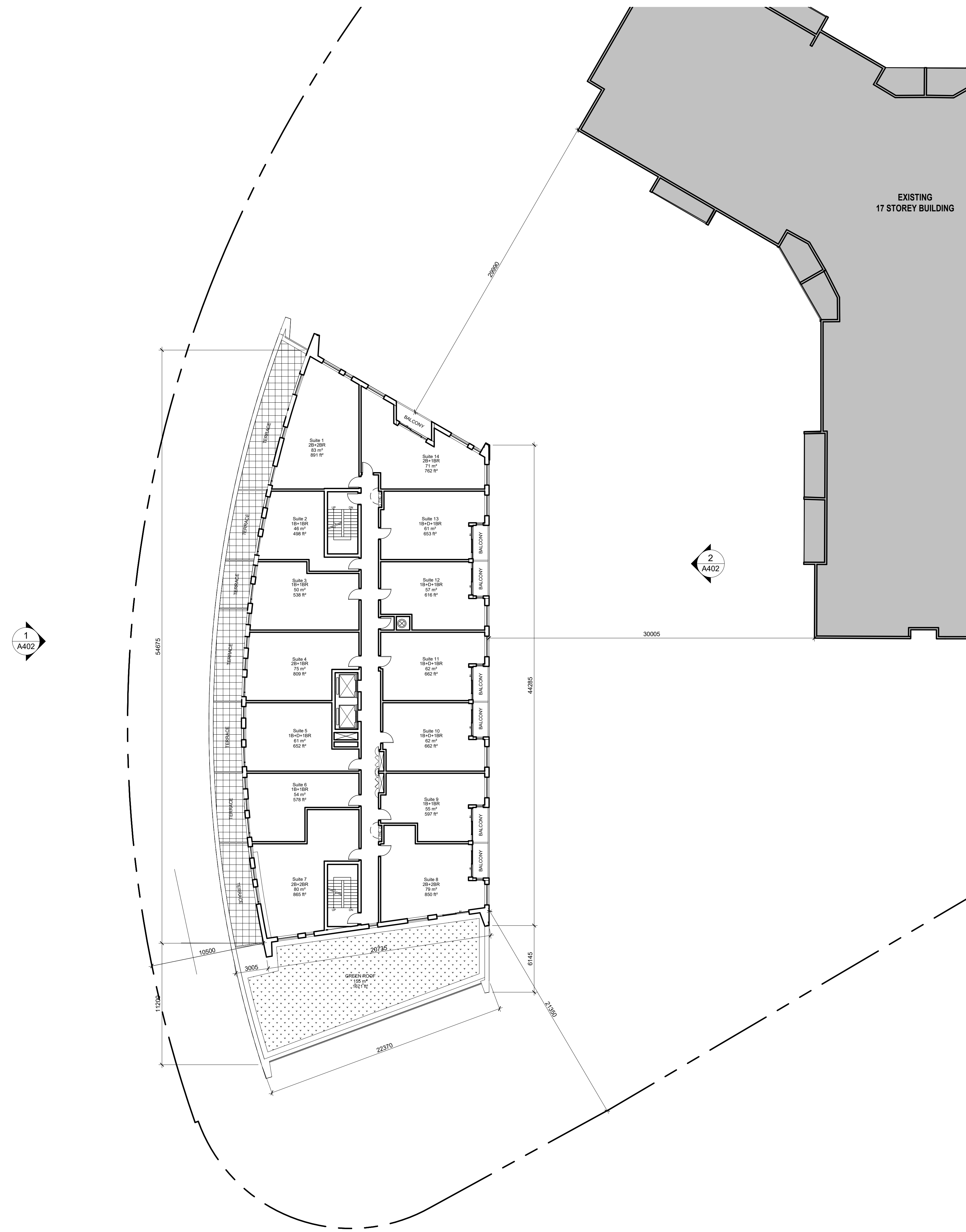
A205.BB

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

C:\Users\Project\AR_AR_17036_63-73 Widdicombe Hill Boulevard_PARKING_2017_2\Drawings\A206.AA

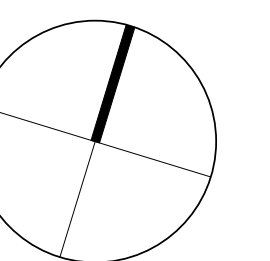
Plan of Floor 7 - Building A

1
A206.AA



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard

Toronto, ON

for FRASMET HOLDINGS LIMITED

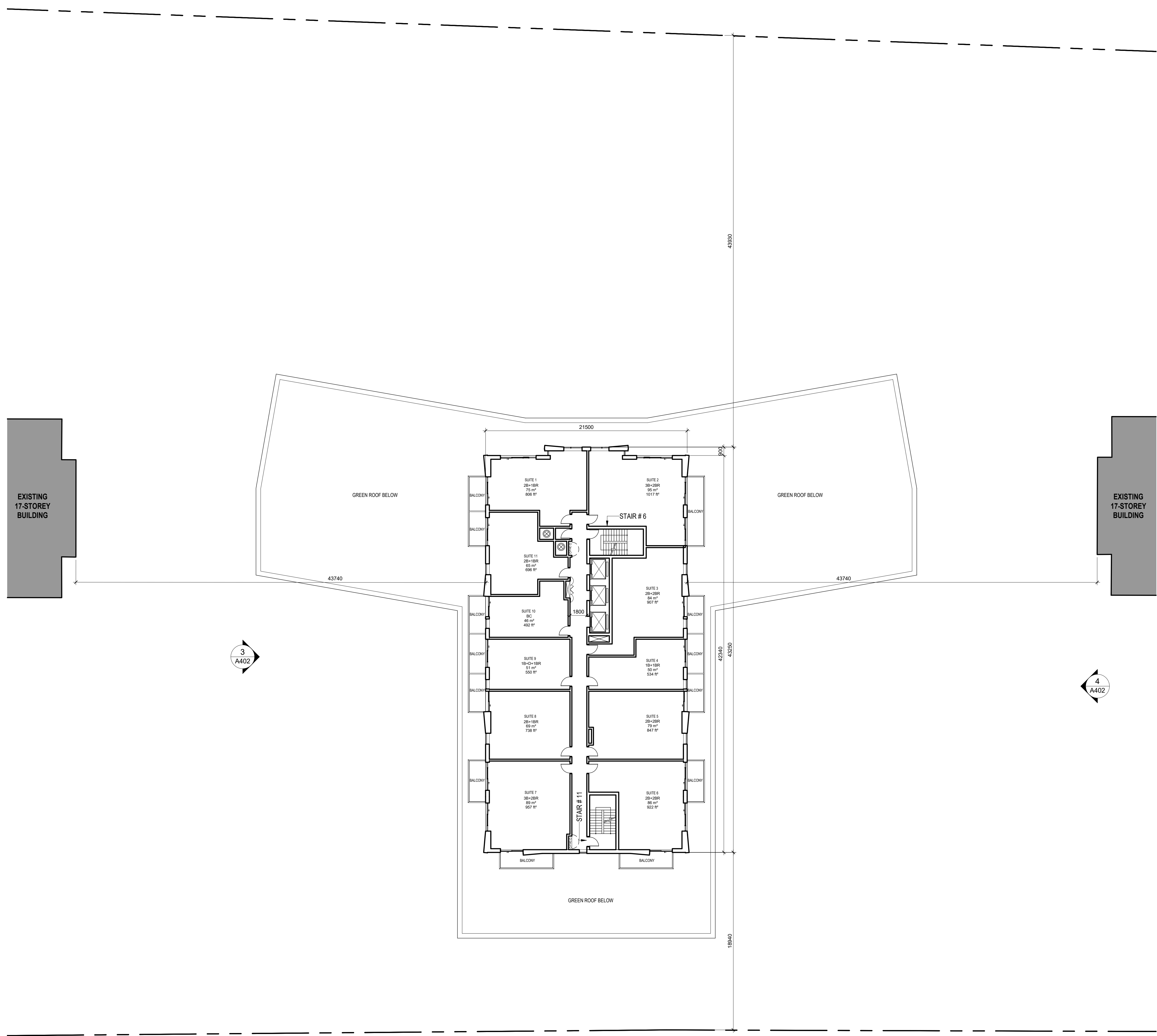
17036 1 : 200 JF HT
 PROJECT SCALE DRAWN REVIEWED

PLAN OF FLOOR 7 - BUILDING A

A206.AA

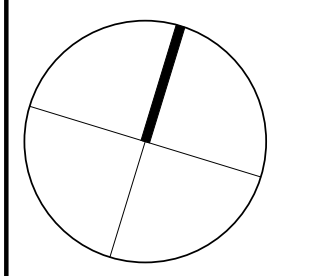
Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other certification prior to commencing work.

2016-06-03 5:31:15 PM



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
 Toronto, ON

for
FRASMET HOLDINGS LIMITED

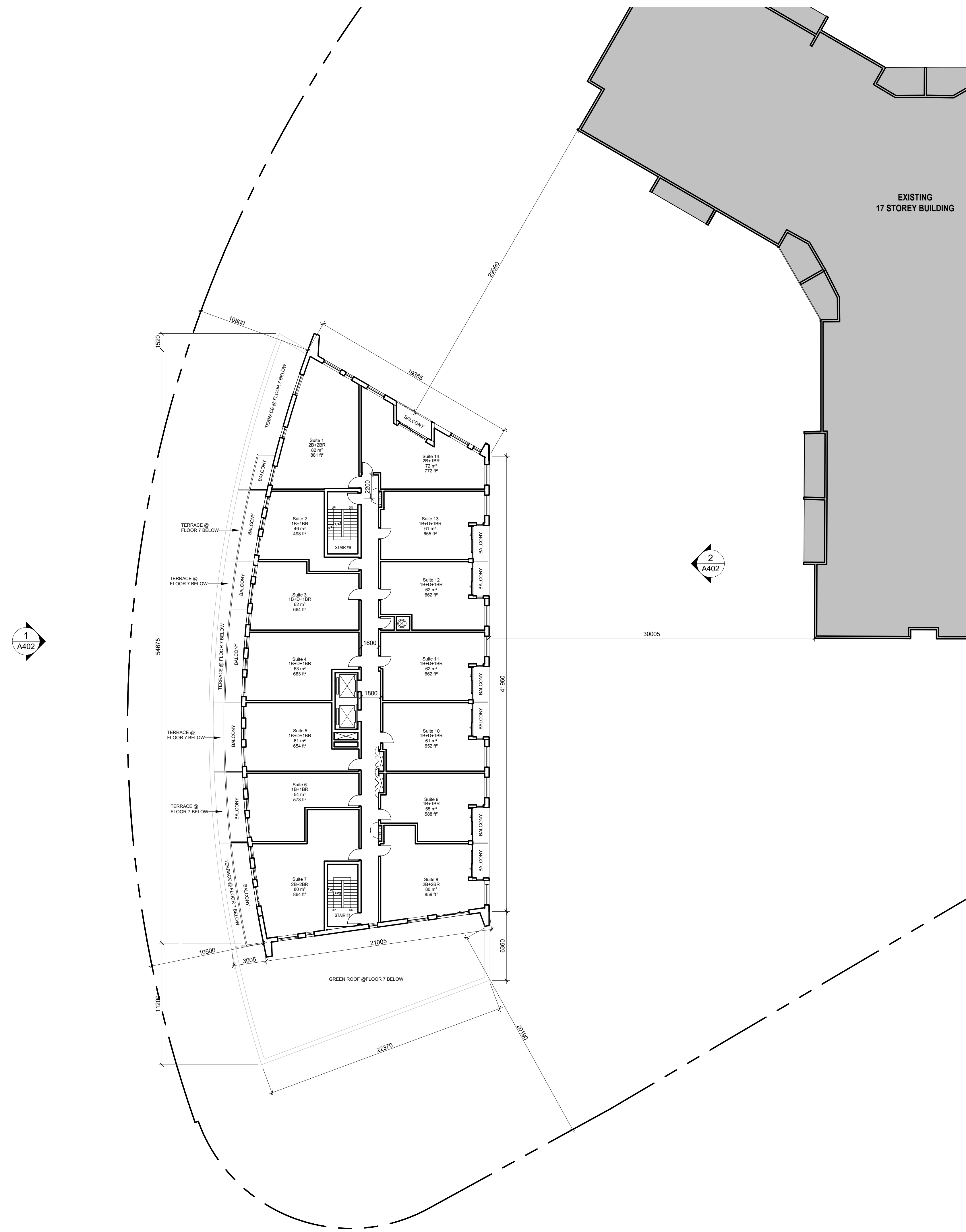
17036 1 : 200 AutoChecker
 PROJECT SCALE DRAWN REVIEWED

PLAN OF TYPICAL FLOOR 8TH
 TO 18TH - BUILDING B

A206.BB

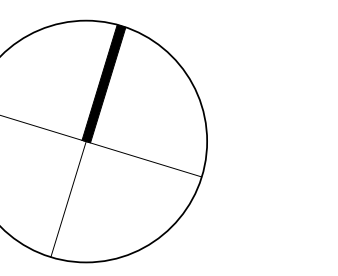
Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other certification prior to commencing work.

1
A207.AA Plan of Typical Floors 8th to 9th - Building A



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t: 416.598.1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
Toronto, ON

for
FRASMET HOLDINGS LIMITED

17036 1:200 JF HT
PROJECT SCALE DRAWN REVIEWED

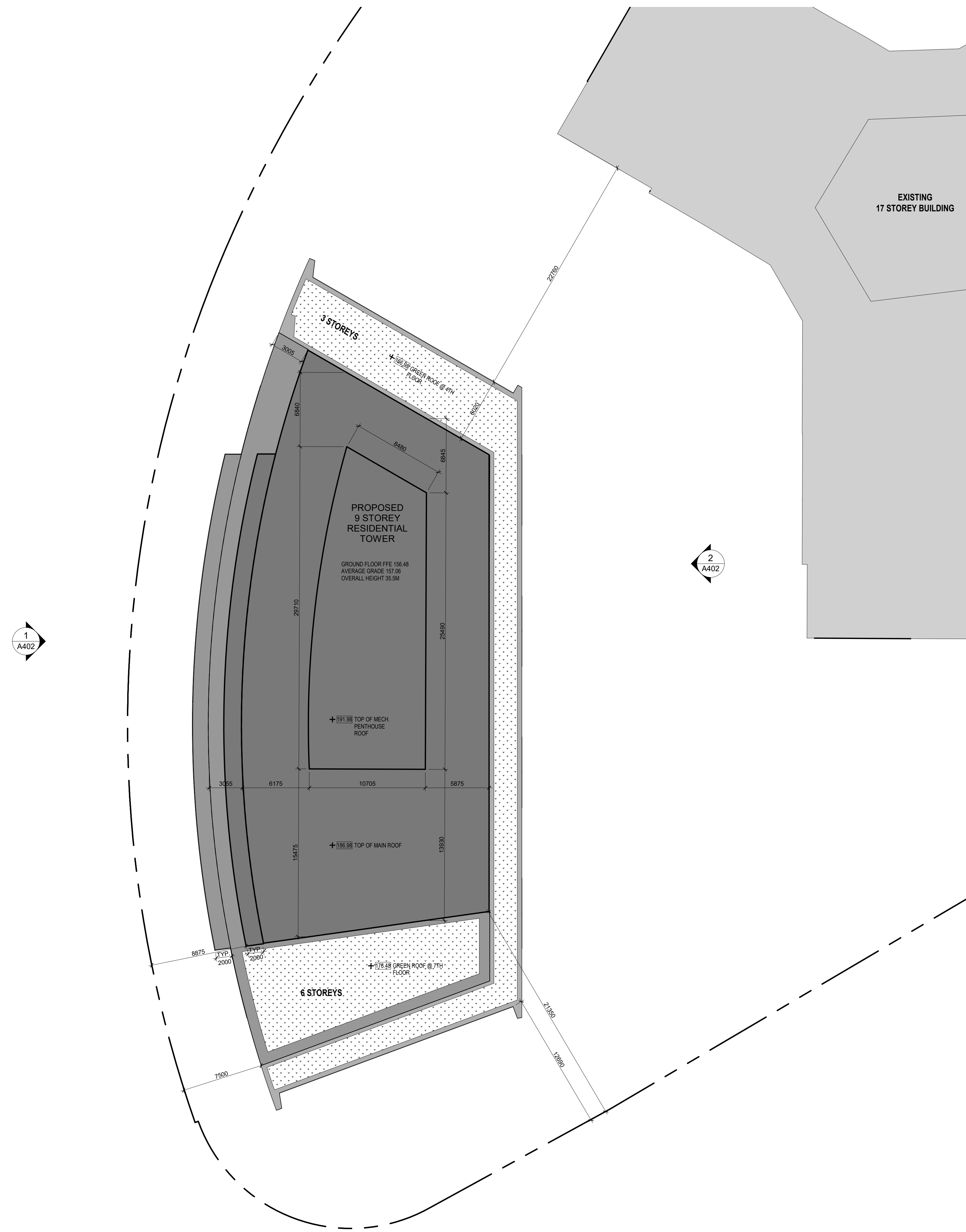
PLAN OF TYPICAL FLOORS
8TH TO 9TH - BUILDING A

A207.AA

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions, and shall report all discrepancies to the Architect and other consultation prior to commencing work.

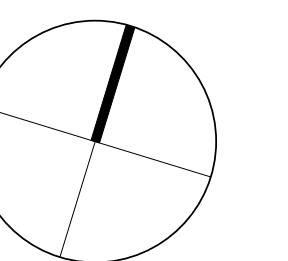
C:\drive\project\A208_AA_17036_63-73 Widdicombe Hill Boulevard_PARKING_PAVING_2017_21\main\A208_AA.rvt

1
A208.AA
A - Roof



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
t: 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard

Toronto, ON

for
FRASMET HOLDINGS LIMITED

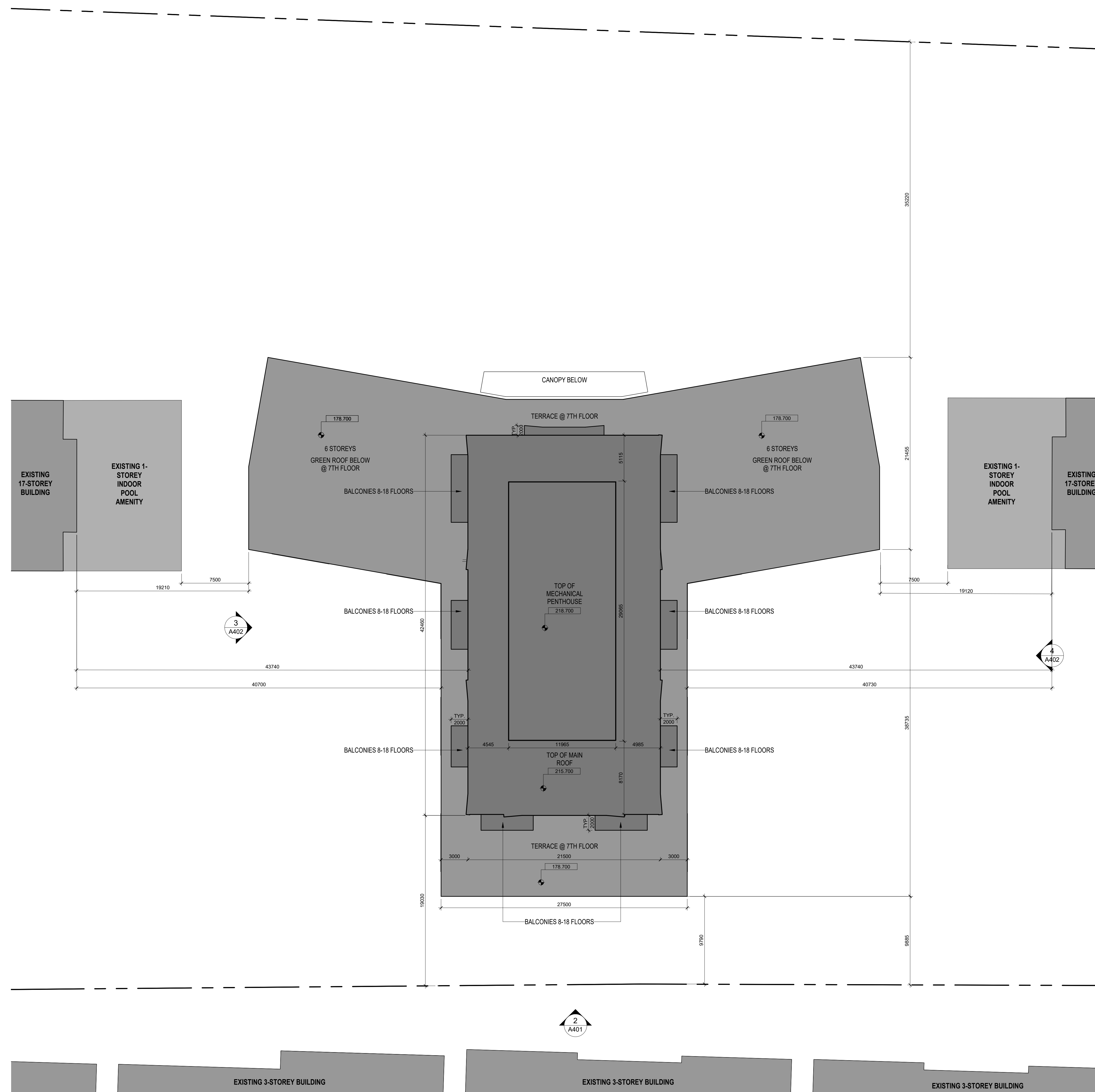
17036 1 : 200 Author/Checker
PROJECT SCALE DRAWN REVIEWED

ROOF PLAN - BUILDING A

A208.AA

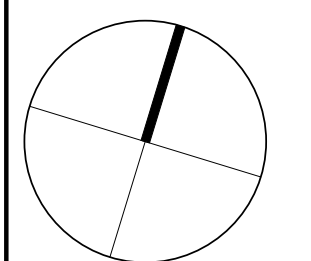
Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other certification prior to commencing work.

2018-06-03 5:31:25 PM



REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
 901 King Street West, Suite 701 Toronto, ON M5V 3H5
 T 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard
 Toronto, ON

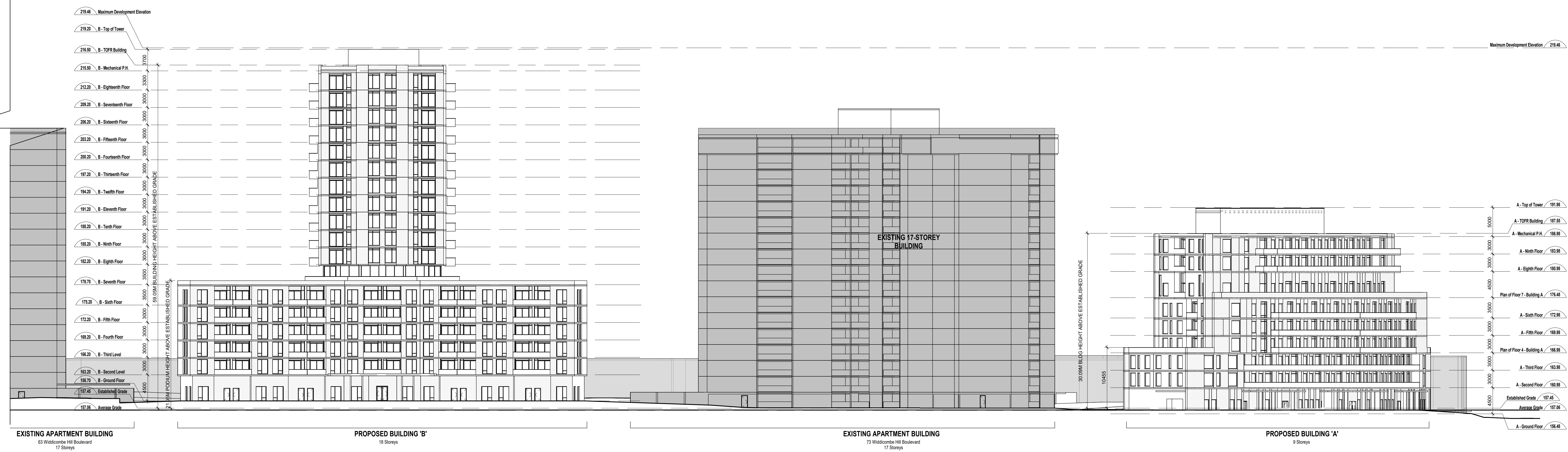
for
FRASMET HOLDINGS LIMITED

17036 1 : 200 AuthorChecker
 PROJECT SCALE DRAWN REVIEWED

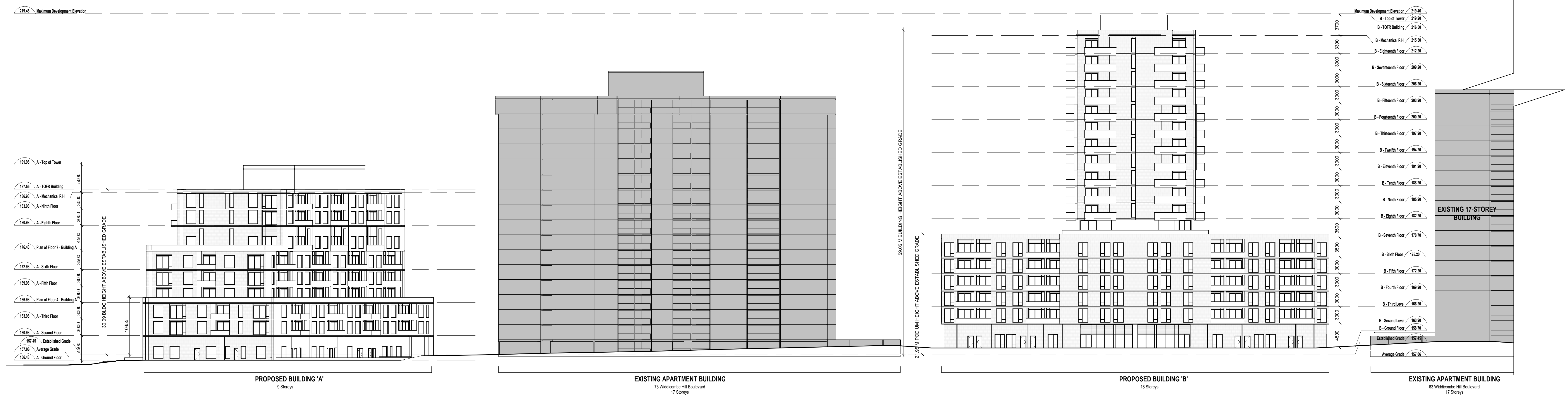
ROOF PLAN - BUILDING B

A208.BB

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions, and shall report all discrepancies to the Architect and other consultation prior to commencing work.



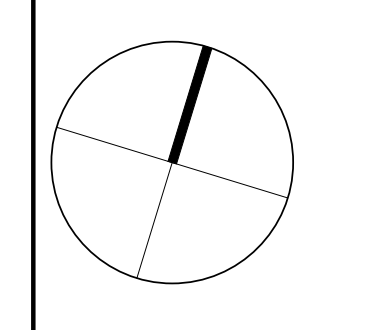
1 NORTH ELEVATION
A401



2 SOUTH ELEVATION
A401

REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
416.598.1240 www.quadrangle.ca
63-73 Widdicombe Hill Boulevard
Toronto, ON
for
FRASMET HOLDINGS LIMITED

17036 1:300 Author/Checker
PROJECT SCALE DRAWN REVIEWED

NORTH AND SOUTH
ELEVATIONS

A401

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other consultant prior to commencing work.

C:\Users\Project\AR_17036_63-73 Widdicombe Hill Boulevard_PAVING_DRAWING_DRAWING_01.dwg 2/11/2024 10:51:52 AM

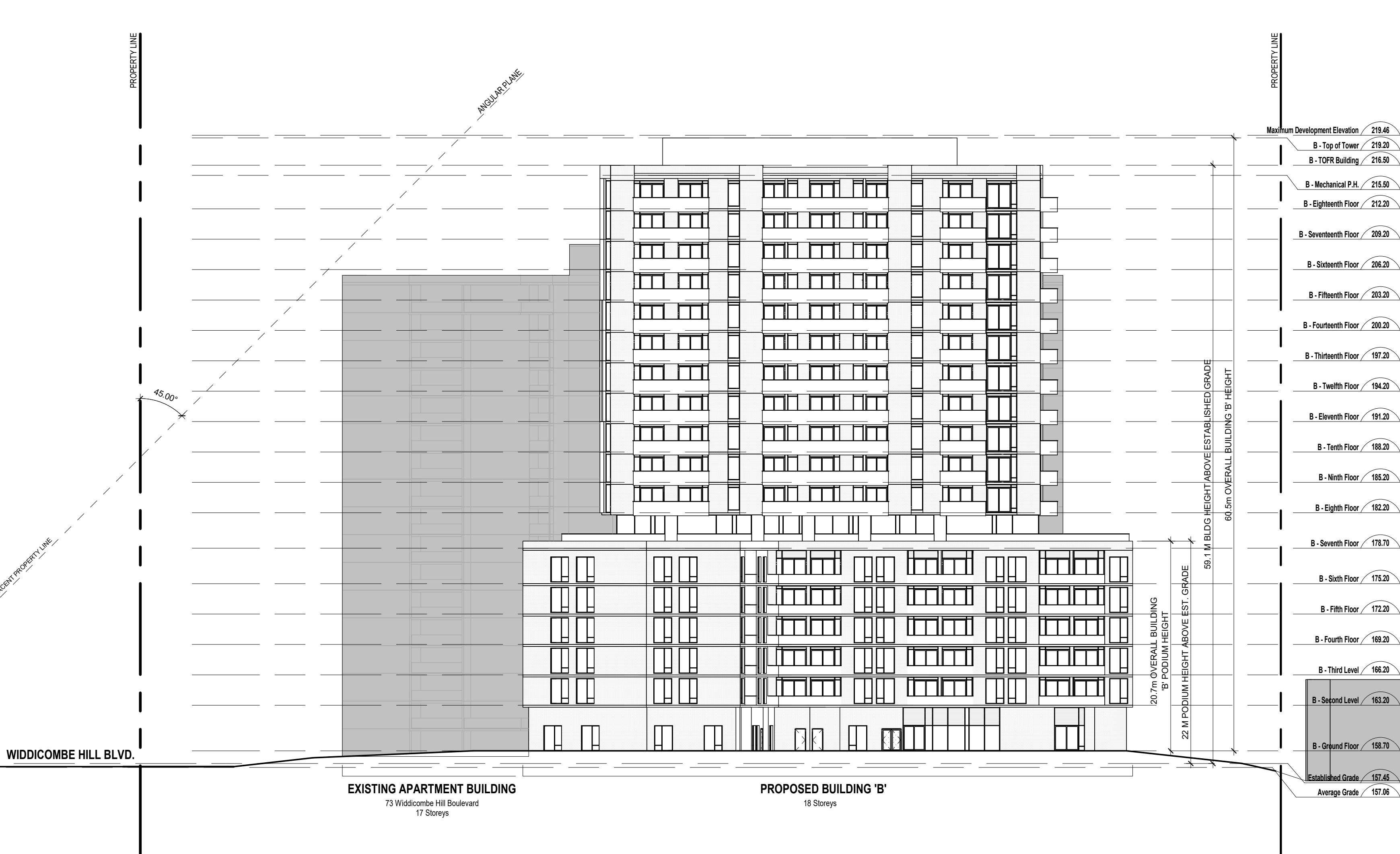
2024-05-03 10:51:52 AM



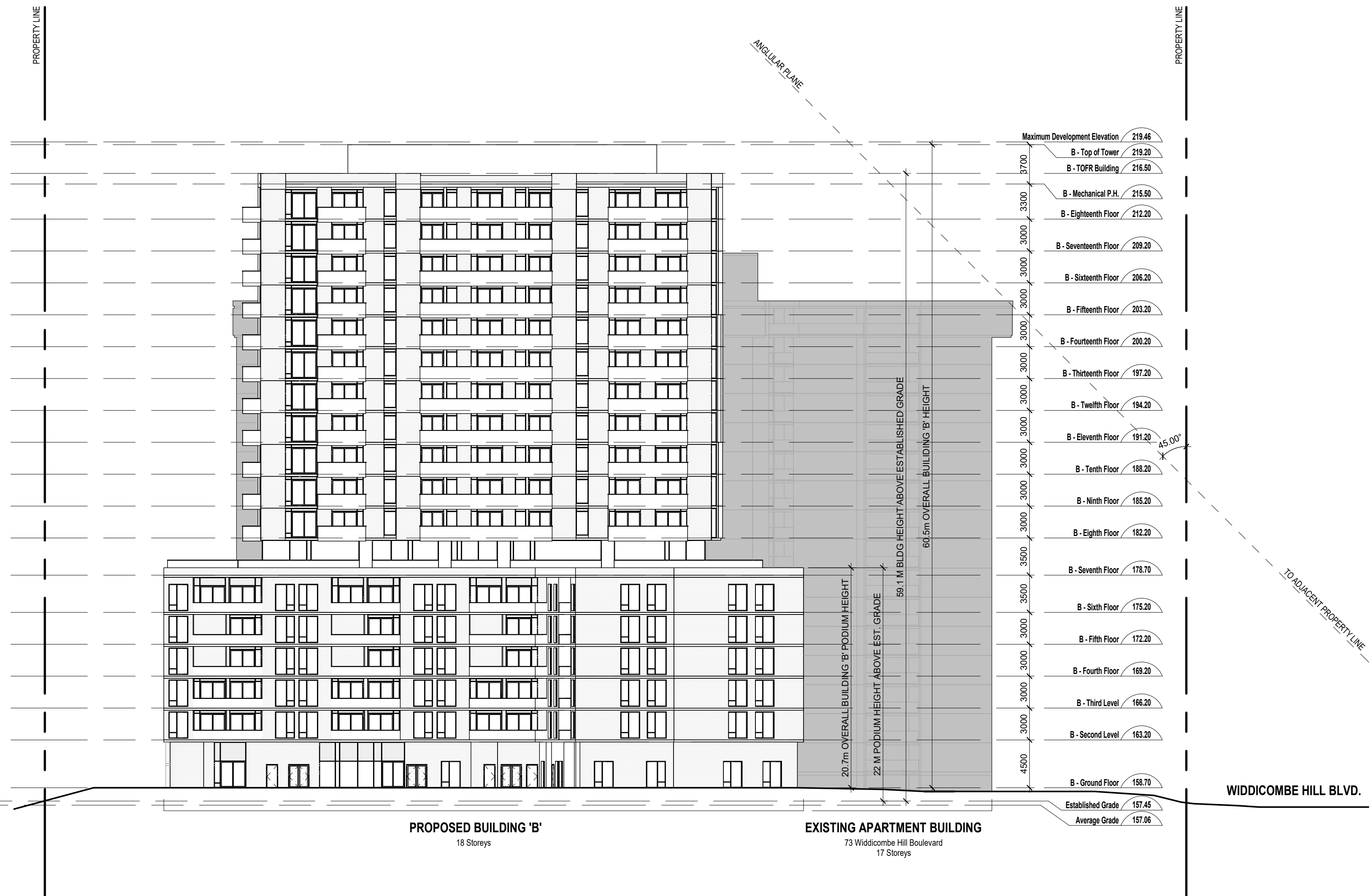
1 PROPOSED RESIDENTIAL BUILDING 'A' WEST ELEVATION



2 PROPOSED RESIDENTIAL BUILDING 'A' EAST ELEVATION



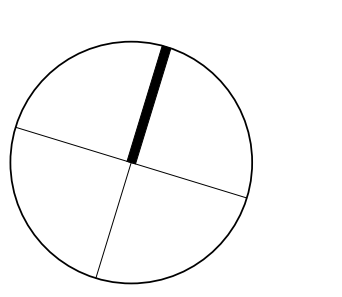
3 PROPOSED RESIDENTIAL BUILDING 'B' WEST ELEVATION



4 PROPOSED RESIDENTIAL BUILDING 'B' EAST ELEVATION

REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
416.598.1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard

Toronto, ON

for FRASMET HOLDINGS LIMITED

17036 1 : 300 Author/Checker
PROJECT SCALE DRAWN REVIEWED

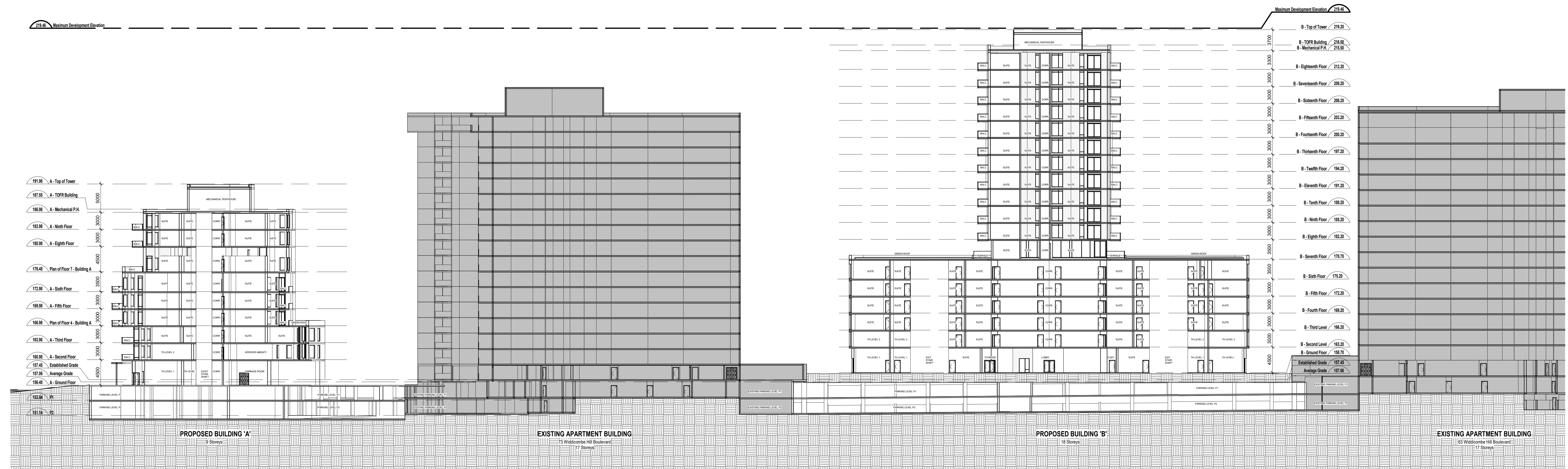
EAST AND WEST ELEVATIONS

A402

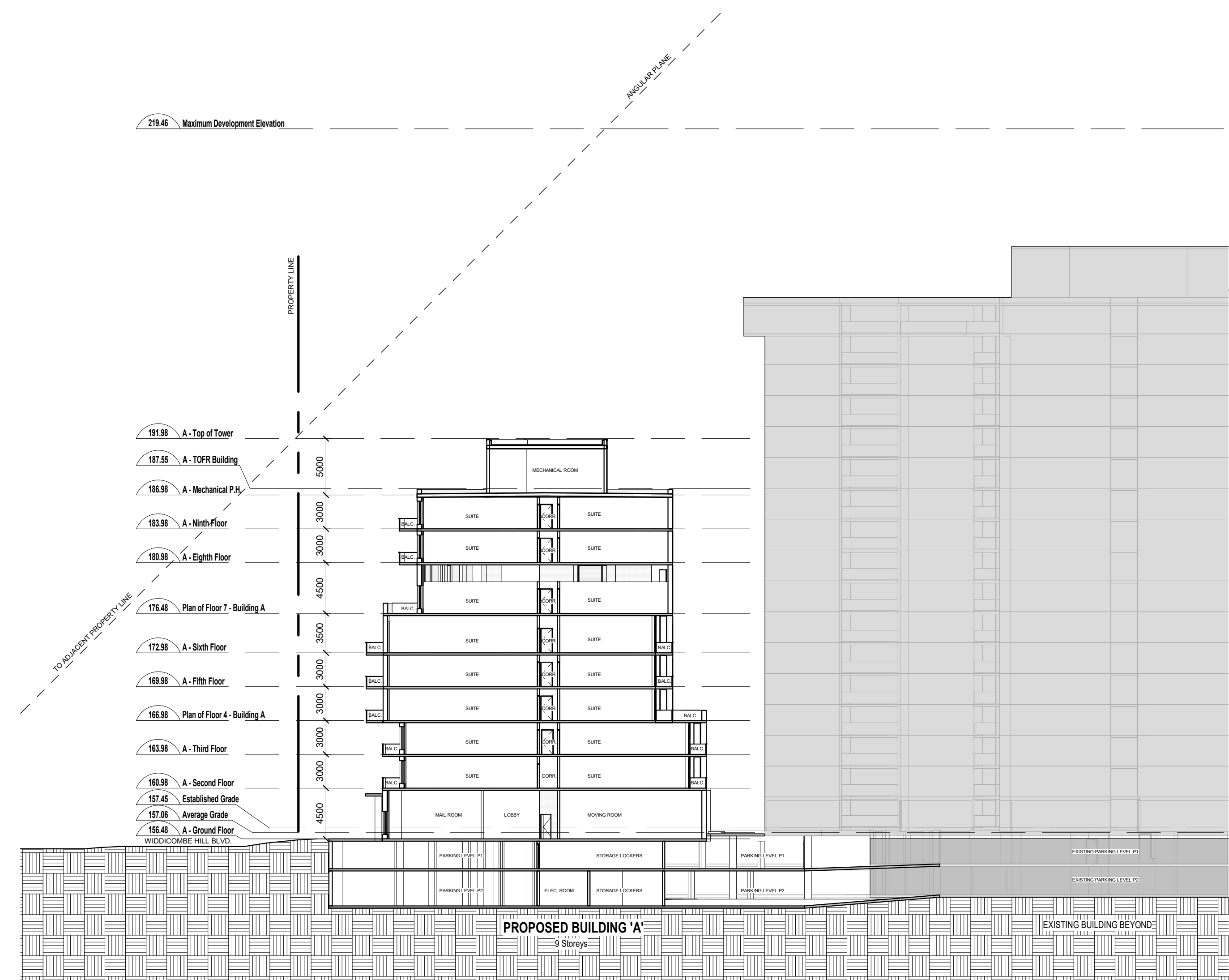
Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions, and shall report all discrepancies to the Architect and other certification prior to commencing work.

C:\Users\Project\AR_17036_63-73 Widdicombe Hill Boulevard_PARKING_DRAWING_DRAWING_01.dwg

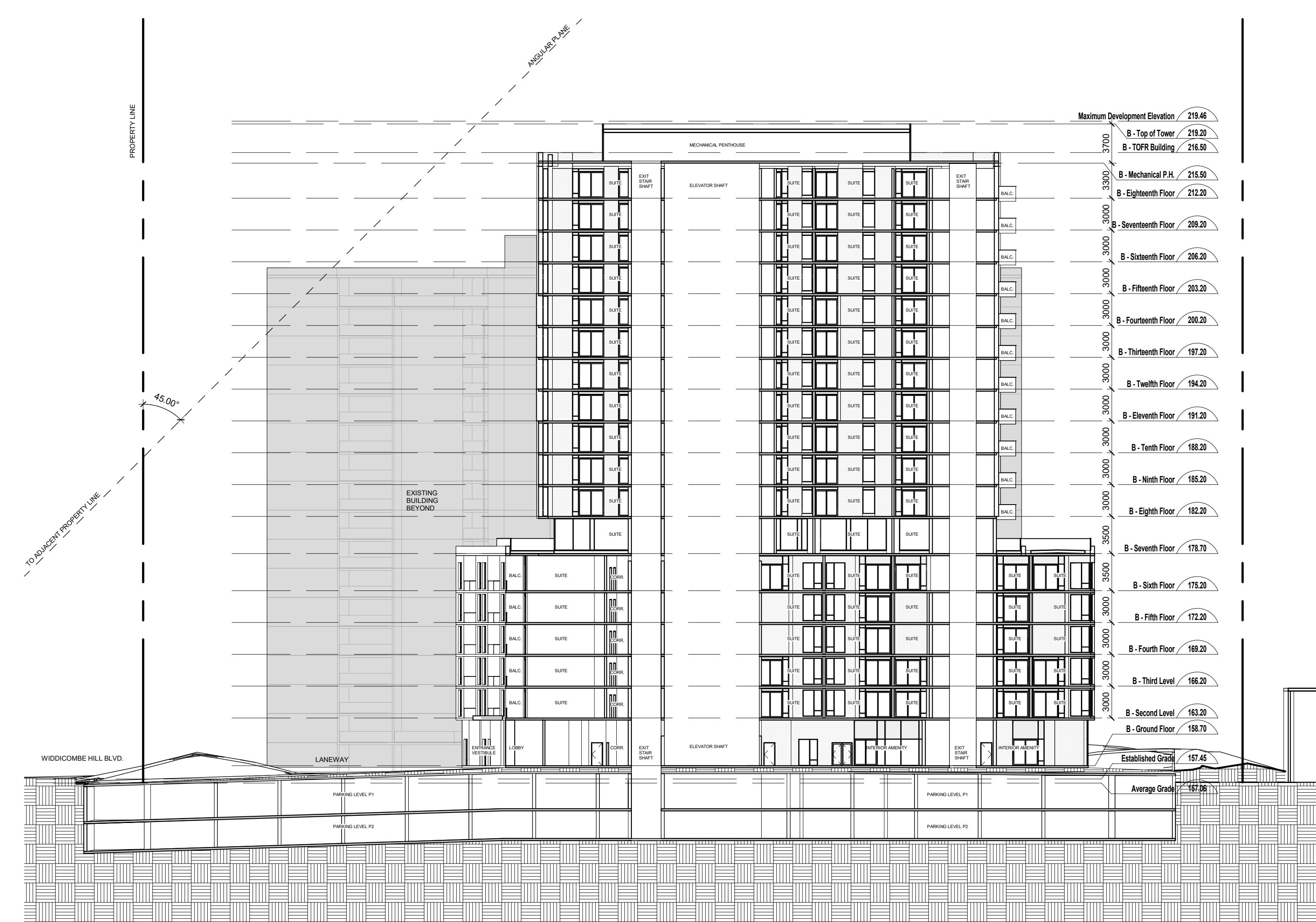
2016-06-03 09:27:21 PM



1 EAST-WEST SECTION
A451



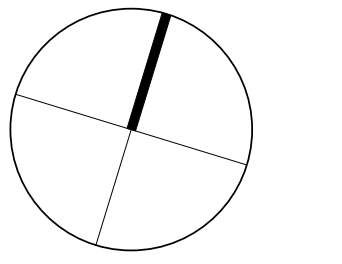
2 BUILDING 'A' SECTION
A451



3 BUILDING 'B' SECTION
A451

REVISION RECORD

ISSUE RECORD



Quadrangle

Quadrangle Architects Limited
901 King Street West, Suite 701 Toronto, ON M5V 3H5
+1 416 598 1240 www.quadrangle.ca

63-73 Widdicombe Hill Boulevard

Toronto, ON
for
FRASMET HOLDINGS LIMITED

17036 1 : 300 Auto/Checker
PROJECT SCALE DRAWN REVIEWED

BUILDING SECTIONS

A451

Note: This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and other certification prior to commencing work.